



# MUNICIPAL PLANNING COMMISSION

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**Council Chambers, Irricana Centennial Centre, 222 2 Street**

**Date:** August 11, 2025 **Time:** 6:30PM

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**A. ATTENDANCE**

**B. CALL TO ORDER**

**C. AGENDA**

**D. MINUTES**

Item D1: Minutes from August 11, 2025 MPC Meeting

**E. CORRESPONDENCE FROM PREVIOUS MEETING**

**F. OLD BUSINESS**

**G. NEW BUSINESS**

Item G1: D2025:003 Eco Flex Materials

**H. ADJOURN**

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**Item D1**

Minutes from August 11, 2025 MPC Meeting

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## MUNICIPAL PLANNING COMMISSION

Council Chambers, Irricana Centennial Centre, 222 2 Street

Date: August 11, 2025 Time: 6:45 PM

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### A. ATTENDANCE

#### Members:

Mayor: Jim Bryson, Chair  
Councillor: Julie Sim  
Councillor: Nathaniel Fleming

#### Support Staff:

CAO: Doug Hafichuk  
Staff: Patty Malthouse

### B. CALL TO ORDER

- (i) The meeting was called to order by Chairperson Bryson at 6:44 pm.

### C. AGENDA

- (i) Item C1: Adopt Agenda

Moved by Member Fleming to adopt the Agenda, as submitted.  
CARRIED

### D. MINUTES

- (i) Item D1: Minutes from December 9, 2024 MPC Meeting

Moved by Member Sim to accept the Minutes from the  
June 2, 2025 MPC Meeting, as presented.  
CARRIED

### E. CORRESPONDENCE FROM PREVIOUS MEETING

### F. OLD BUSINESS

**G. NEW BUSINESS**

- (i) Item G1: Variance Request D2025:020 Soppit

Moved by Member Sim that MPS approve variances to reduce the rear yard setback from 15.m to 0.96m and the side yard setback from 1.0m to 0.67m for the existing accessory building (wood shed) at 229 – 6 Street.

CARRIED

**H. ADJOURN**

- (i) Adjournment

Moved by Member Fleming to adjourn the meeting at 6:52 pm.

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Jim Bryson  
Chairperson

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Doug Hafichuk  
Chief Administrative Officer



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**To:** Chair and Commission Members  
**From:** Chief Administrative Officer  
**Date:** October 6, 2025  
**Purpose:** Request for Decision  
**Subject:** D2025:003 Eco Flex Materials

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**Summary:**

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The Town has received Development Permit Application D2025:003 from Eco Flex Materials, proposing the construction of a 5,200 square foot industrial manufacturing facility at 263045 Township Road 274. The facility will be used for the production of composite rebar and other low-carbon construction materials.

This is the first proposed development in the newly approved Pioneer Industrial Park, and the applicant is prepared to begin development immediately. All Land Use matters are sufficiently clear, and the file has been deemed complete and ready for decision. Minor outstanding site-level items will be addressed through conditions of approval and a Development Agreement.

As "Manufacturing Establishment" is listed as a Discretionary Use within the Light Industrial (LI) District, the application requires a formal decision by the Municipal Planning Commission (MPC).

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**Application Details:**

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File No.: D2025:003  
Applicant: Eco Flex Materials (Aref Najafi)  
Landowner: Whitney Investments (Title in Transition)  
Legal Description: Lot 1, Block 1, Plan 0512579 (Awaiting Registration)

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**Background and Discussion:**

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The applicant, Eco Flex Materials, represented by company President Aref Najafi, has submitted Development Permit Application D2025:003 seeking approval to construct and operate a 5,200 square foot manufacturing facility in the newly approved Pioneer Industrial Park, located at 263045 Township Road 274. The



company specializes in the production of composite rebar and other low-carbon construction materials designed to offer alternatives to traditional steel rebar.

The proposed facility will be built as a post-frame, steel-clad structure and include two overhead bay doors, administrative office space, and internal equipment to support multi-shift operations. At full scale, the operation may run up to three shifts per day, employing two operators per shift and one administrative staff member.

The development will be serviced privately, with truck-hauled water and septic provided via heated and insulated tanks located adjacent to the office trailer. Fire safety considerations include the use of fire extinguishers and a trailer-mounted foam suppression system for use in the event of polymer fires.

This application represents the first proposed development within the Pioneer Industrial Park and is supported by detailed site plans, engineered building drawings, and operational information. Land Use matters have been sufficiently addressed to allow for a formal decision, with minor site-level details to be resolved through a Development Agreement and routine conditions of approval.

### **Land Use Considerations**

<b>Topic</b>	<b>Assessment</b>
Zoning	Light Industrial (LI)
Use Classification	Manufacturing Establishment ( <i>Discretionary Use</i> )
Height & Setbacks	Meets all LUB requirements
Compatibility	No nearby sensitive uses; consistent with industrial zoning
Servicing	Water and septic to be hauled; no municipal connections

### **Site and Operational Overview**

The proposed development consists of a 5,200 square foot post-frame industrial building, clad in painted metal and insulated to commercial standards. The structure will be situated on a private industrial parcel within the Pioneer Industrial Park and will include two overhead bay doors, two man doors, and two standard sliding windows. No rooftop equipment is proposed, and the overall building height is approximately 16 feet at the eave, with a peak height just under 27 feet based on submitted drawings.

Vehicle access to the site will be via Township Road 274, with sufficient room for trailer trucks to maneuver and load product. A 120 square foot office trailer will be placed adjacent to the primary building and will be equipped with a washroom and

utility sink. Water and wastewater servicing will be provided through heated and insulated 1,000-litre tanks, which will be emptied and refilled routinely through a licensed hauling provider. While a formal agreement is not yet in place, the applicant has indicated an intent to work with a nearby provider, Cowboy Septic, once construction begins.

Noise-generating equipment, including compressors and furnaces, will be located entirely within the building envelope. The applicant has committed to maintaining a maximum noise level of 80 decibels or lower at the property boundary.

In addition, external lighting will be limited to solar-powered LED fixtures with motion sensors and downward shielding, reducing light pollution while ensuring site safety. Six perimeter lights and up to four building-mounted units are anticipated.

Outdoor storage will include raw materials secured in sea cans and finished products stored on industrial racking along the southern edge of the site. Daily operations are expected to generate one truck movement in and out of the site, with bi-weekly delivery of raw materials in bulk. Defective product waste is estimated at one tonne per month and will be disposed of at an approved landfill site.

While minor updates are needed to the site plan to more clearly define storage areas, circulation routes, and emergency vehicle access, the current proposal is well-aligned with the Town's expectations for light industrial development and demonstrates thoughtful consideration of operational impacts.

## **Fire & Environmental Safety**

The proposed operation includes the on-site use and storage of materials that require thoughtful fire and environmental risk management. As part of the application, the applicant has provided a preliminary fire suppression approach and a detailed inventory of materials expected to be present during normal operations.

Three primary materials will be stored and used on site: fiberglass roving, polymer resins and activators, and the finished composite rebar products. Fiberglass roving is non-hazardous and presents no significant risk of spill or combustion. Finished rebar products are similarly inert and will be stored outdoors on metal racking.

The key environmental consideration involves the storage and handling of polymer resins and activators, which are classified as Category 3 flammable liquids under applicable codes. These will initially be stored indoors on a concrete pad with

secondary containment, including the use of drip trays beneath all barrels. During warmer months, the applicant may relocate storage to sea cans, which will also be outfitted with spill trays to ensure environmental protection. The applicant has acknowledged that all practices will be adapted as required to meet Alberta Environmental Protection standards and Building Code requirements.

To address fire safety, the site will be equipped with portable fire extinguishers located throughout the facility, based on the recommendations of a safety officer. In addition, the applicant has proposed a mobile foam and water suppression trailer, which will be housed on-site and can be rapidly deployed in the event of a fire involving flammable liquids. This unit is intended to supplement conventional suppression efforts and demonstrates a proactive approach to managing fire risk.

Although the facility will not include a fixed water source for firefighting, the applicant has confirmed that, if required by Building Code or Fire Code, additional storage tanks or interior suppression systems will be added. This ensures that regulatory compliance can be met without delaying the core aspects of development.

As a condition of approval, the Town will require the applicant to disclose a full list of on-site chemicals and hazardous materials to the local Fire Department, and to coordinate a Fire Safety Inspection prior to occupancy. This step will ensure that the facility is reviewed by emergency responders and that any additional requirements for equipment, signage, or access are implemented before the site becomes operational.

The proposed fire safety measures are appropriate for a small-scale industrial operation in a rural context. When combined with the planned containment features and administrative oversight, the risk to neighbouring properties and the broader environment is considered low and manageable.

### **Administrative Comments**

The Development Officer has reviewed the proposed development in the context of the Land Use Bylaw, the physical characteristics of the site, and the operational information provided by the applicant. The use of the property as a Manufacturing Establishment is a Discretionary Use within the Light Industrial District, and the application represents a strong alignment with both the intent and purpose of that district.

The proposed facility is straightforward in its form and function, and the business model is well-suited to a small rural industrial park.



The applicant has provided extensive background information and has demonstrated a clear understanding of municipal expectations related to noise, light, safety, and environmental protection. While there are a few technical details still to be resolved – such as final site circulation and the formalization of hauling services – these are relatively minor in nature and can be effectively managed through standard conditions of approval and the execution of a Development Agreement.

Importantly, the application is not speculative. The applicant is prepared to begin construction immediately, and this project represents the first formal development in the newly established Pioneer Industrial Park. As such, the proposed use sets a valuable precedent for future investment in the area. The proposed scale, design, and servicing approach reflect a realistic and implementable plan, supported by engineered drawings and a clear operational roadmap.

The Development Officer is satisfied that the application is complete and ready for decision. It is appropriate to allow construction to proceed while reserving the ability to administer remaining matters – such as signage, servicing confirmation, and emergency access – through conditions and post-approval agreements. No significant concerns have been raised that would warrant withholding approval at this time.

### **Recommended Conditions of Approval**

Should the Municipal Planning Commission approve Development Permit D2025:003, *the Development Officer recommends the following conditions:*

#### **1. Development Agreement**

That the applicant enters into a Development Agreement with the Town of Irricana, to the satisfaction of the Development Officer, prior to commencement of construction.

The agreement may address matters such as securities, landscaping, servicing, emergency access, and other technical details not fully resolved in the initial application.

#### **2. Updated Site Plan Submission**

That a revised site plan be submitted to the satisfaction of the Development Officer, prior to construction, clearly identifying:

- Final placement of all buildings and sea cans

- Truck and trailer circulation routes
- Outdoor storage and laydown areas
- Emergency vehicle access throughout the site

### 3. Odour and Emissions

That the operation shall not emit odours, airborne particles, or other emissions that cause nuisance beyond the boundaries of the subject property. If such impacts are identified, the Town may require the applicant to implement mitigation measures to the satisfaction of the Development Officer.

### 4. Fire Safety Coordination

That a complete list of on-site chemicals and hazardous materials, along with details of the proposed fire suppression equipment (including the trailer-mounted foam suppression system), be provided to the Irricana Fire Department. A Fire Safety Inspection of the completed facility shall be arranged and completed to the satisfaction of the Fire Department prior to occupancy.

### 5. Servicing Confirmation

That the applicant provide written confirmation, to the satisfaction of the Development Officer, of a licensed water and septic hauling service prior to the commencement of operations.

### 6. Compliance with Building and Safety Codes

That all development and operations shall comply with the Alberta Building Code, Alberta Fire Code, and any other applicable provincial regulations, including any additional fire suppression requirements identified through the building permit review. The Applicant is required to provide, to the satisfaction of the Development Officer, evidence of compliance with the above requirements prior to occupancy.

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## **Circulation and Comment:**

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This application was not circulated to adjacent landowners or external agencies, as the proposed development is a listed Discretionary Use within the Light Industrial District, does not require any variances, and is not adjacent to any sensitive land uses.

The site is physically separated from residential or public areas, and the scale and nature of operations present minimal risk of off-site impacts. Noise, lighting, and fire safety measures have been appropriately addressed.

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**Recommendation:**

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That the Municipal Planning Commission approve Development Permit Application D2025:003 for a Manufacturing Establishment at 263045 Township Road 274, subject to the conditions outlined in this report, including execution of a Development Agreement and submission of updated site details to the satisfaction of the Development Officer.

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**Recommendation Motion(s):**

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**Option #1:**

Motion #1:           **THAT** the Municipal Planning Commission approve Development Permit Application D2025:003 for a Manufacturing Establishment at 263045 Township Road 274, subject to the conditions of approval as outlined in the Administrative Report dated October 6, 2025.

**Option #2:**

As determined by the Municipal Planning Commission.

Respectfully submitted,

"Doug Hafichuk"

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Chief Administrative Officer

**ATTACHMENTS:**

Attachment 'A' – Development Permit Application

Attachment 'B' – Supplemental Materials

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**Item G1**

Attachment 'A' - Development Permit Application

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Town of Irricana  
PO Box 100  
222 – 2 Street  
Irricana, AB T0M 1B0

Phone: 403-935-4672  
Fax: 403-935-4270  
Email: Irricana@Irricana.com

## Development or Alteration of Lands

### Land Use Bylaw 007:2023

I/We hereby make application for a development permit under the provisions of the Land Use Bylaw in accordance with the plans and supporting information submitted herewith, which form part of this application. It is understood that the Development Authority may refuse to accept incomplete applications.

#### 1. Applicant Information *(Include additional applicant information on separate page)*

Name: **Aref Najafi**

Address: **[REDACTED] Blvd. Chestermere**

Phone: **[REDACTED]** Alt Phone:

Fax: Email: **[REDACTED]**

#### 2. Registered Property Owner Information *(If different than above)*

Name: **Drake Whitney**

Address: **275022 Township Rd 272 Rocky View County AB, T4A 2Z9**

Phone: **[REDACTED]** Alt Phone:

Fax: Email: **[REDACTED]**

#### 3. Designated Agent *(Agent is Authorized to Represent the Registered Property Owner)*

Name:

Address:

Phone: Alt Phone:

Fax: Email:

#### 4. Land Description

Municipal Address: 263045 Township Rd 274, Irricana, AB T0M 1B0

Legal Description: Plan # 0512579 Block # 1 Lot # 1

#### 5. Development Details *(Describe the scope of work covered under the Development Permit)*

This application seeks to transform the designated property into a small industrial manufacturing facility. Envision the establishment of an operational building (130 ft\*40 ft), designed to drive productivity, accompanied by a sleek 120-square-foot office trailer nestled right next to it.

The entire site is 3.6 acres, secured by a fence. The manufacturing building will occupy a small portion on the west side of the property, harmoniously blending functionality and aesthetics. The office trailer, serving as the administrative office, will be equipped with essential amenities, including an external heated septic system and a water tank, ensuring smooth operations and a comfortable working environment. This development promises to enhance the property's utility and contribute to the local economy.

#### 6. Variance(s) Requested *(Describe any variances being requested)*

7. Anticipated Start 1.05.2025

8. Anticipated Completion 30.07.2025



## 9. Required Information for Complete Application *(Applicant to initial beside each to confirm submission)*

Applicant Initial	Items Listed Below <i>MUST Be Provided Unless Explicitly Excluded by the Development Authority</i> <i>Refer to Town of Irricana Land Use Bylaw 007:2023 for Additional Details</i>	Received (Office Use)
AN	Development Fees <i>(as described in the Master Rates Bylaw)</i>	
AN	3.3.3.a Completed Development Permit Application <i>(This Form)</i>	
AN	3.3.3.b Site Plan indicating all buildings, parking, storage, fencing, and signage	
	<ul style="list-style-type: none"> <li>Legal description of Site, with North Arrow</li> </ul>	
	<ul style="list-style-type: none"> <li>All property lines clearly drawn</li> </ul>	
	<ul style="list-style-type: none"> <li>Area dimension of the Land to be developed</li> </ul>	
	<ul style="list-style-type: none"> <li>Measured setbacks from the proposed development to all property lines</li> </ul>	
	<ul style="list-style-type: none"> <li>Area and external dimensions, including height, for all proposed development</li> </ul>	
	<ul style="list-style-type: none"> <li>Location and dimension of off-street parking and loading areas</li> </ul>	
	<ul style="list-style-type: none"> <li>All Site access points</li> </ul>	
	<ul style="list-style-type: none"> <li>Rights-of-way and easements</li> </ul>	
	<ul style="list-style-type: none"> <li>Location of all existing buildings, roads, water bodies (etc) on the Site</li> </ul>	
AN	3.3.3.c Statement of the proposed use(s) for the Site	
	<ul style="list-style-type: none"> <li>Intended days and hours of operation</li> </ul>	
	<ul style="list-style-type: none"> <li>Identification of provincial or federal licensing requirements</li> </ul>	
AN	3.3.3.d Signed Owner Authorization <i>(If applying as Agent)</i>	
AN	3.3.3.e Anticipated Commencement and Completion Dates <i>(This Form)</i>	
AN	3.3.3.f Floorplan indicating all uses and occupancies for each building	
	<ul style="list-style-type: none"> <li>Floorplan, elevations and sections</li> </ul>	
	<ul style="list-style-type: none"> <li>Detail on exterior finishes (materials, colours)</li> </ul>	
	3.3.3.g Lot Grading Plan and/or Stormwater Management Plan <i>(Commercial/Industrial)</i>	
	3.3.4.a Certificate of Title	
	3.3.4.b Surveyor's Certificate or Real Property Report	
	3.3.4.c Lot Grading, Drainage and/or Stormwater Management Plan <i>(Residential)</i>	
	3.3.4.d Groundwater and/or Geotechnical Analysis	
	3.3.4.e Private Sewage Disposal Site Evaluation	

	<b>3.3.4.g Other Information Requested by the Development Authority</b>	
	• Engineering drawings, studies, or reports	
	• Traffic impact assessment (TIA)	
	• Environmental site assessment (ESA)	
	• Fire and/or safety inspection reports	
	• Third-party applications and/or approvals	

## 10. Supporting Documentation *(Additional information provided to support the application)*

Applicant Initial		Received (Office Use)
	1.	
	2.	
	3.	
	4.	
	5.	
	6.	
	7.	
	8.	
	9.	
	10.	

## 11. Authorization *(Please initial beside the applicable option)*

	I certify that I am submitting this application as the Registered Owner of the subject property.
<b>AN</b>	I certify that I am authorized by the Registered Owner of the subject property to submit this application on their behalf and have submitted evidence of such authorization.

## 12. Right of Entry *(Please initial)*

<b>AN</b>	I authorize the Town of Irricana and its agents to access the subject property for the purpose of processing this application and making a determination thereto.
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## 13. Collection and Use of Information

In submitting this application, I certify that the information provided is true and correct and that the Town of Irricana shall not be liable for any errors or omissions associated with this application. I acknowledge that additional information may be requested prior to acceptance of this application or in the future.

Further, I acknowledge that the information provided in relation to this application, including correspondence, is subject to the Freedom of Information and Protection of Privacy Act (FOIP) and may be subject to public disclosure under the Act.

Aref Najafi


Digitally signed by Aref Najafi  
DN: cn=Aref Najafi, o=Town of Irricana, ou=Irricana, email=anajafi@irricana.ab.ca  
Reason: I am the author of this document  
Date: 2025.03.18 10:51:18.00

Applicant Signature

Aref Najafi

Digitally signed by Aref Najafi  
DN: cn=Aref Najafi, o=Town of Irricana, ou=Irricana, email=anajafi@irricana.ab.ca  
Reason: I am the author of this document  
Date: 2025.03.18 10:50:18.00

Date of Signature



16.03.2025

**Statement of Purpose of Use of Building:**

**To Whom It May Concern,**

Our company, Eco Flex Materials, will specialize in manufacturing high-performance composite rebar and other low carbon construction materials using advanced production techniques. We aim to address the limitations of traditional steel rebar, such as corrosion and weight, by providing innovative solutions that enhance the durability and sustainability of construction projects. This will become more critical since the export tariffs will affect the steel industry, and the Canadian construction industry will need more reliable and cost-effective products for their business.

Currently, our production will be housed within a 5000 Sq. The Ft. operation building and is planned to be operated in two eight-hour shifts starting 7 a.m. to 11 p.m., with the possibility of extending to three shifts and 24-hour operation. Each shift will require two operators, who will be supported by one admin staff member.

The raw material will be stored inside the operational building, and the produced products will be stored outside for shipping. As per the proposed design, there is ample space for staff parking and room for trailer trucks to move easily within the facility for shipping and receiving purposes.

The operation does not require a shipping and receiving deck since a forklift will be used for loading and unloading the goods on and off the trucks.

The 120-square-foot office trailer is equipped with a bathroom and will be connected to an external heated septic and water tank, which will be serviced by trucks. The office trailer will house the admin staff and all the network and security equipment.

We contacted Alberta Environment to seek advice on the regulatory requirements for our operation, and we have received an exemption letter as per the attached email. The only waste produced during our operation will be the defective products, which can be disposed of in landfills.

Please let me know if you do require further information.

Best Regards,

Aref Najafi

President

ualberta.net

Aref Seyyed Najafi &lt;arefs@ualberta.net&gt;

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**Environmental Permit Exemption**

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**Matt Haghighi**

Thu, Feb 27, 2025 at 12:38 AM

To: Aref Seyyed

Good Morning Aref,

Thank you for your inquiry regarding approval requirements for the proposed Construction Products Manufacturing Plant in Irricana under the *Environmental Protection and Enhancement Act* (EPEA).

The proposed Composite Rebar Plant is not defined in the Activities Designation Regulation, Alberta Regulation 276/2003, (ADR) and therefore, the proposed activity does not require an approval from Alberta Environment and Protected Areas (EPA).

Although an approval under the EPEA is currently not required for your activity, any release of a substance into the environment or waste generated must be managed in such a way as to preclude any contamination of the environment. You may want to review the Waste Regulation Regulation: Alberta King's Printer and the Substance Release Regulation: Alberta King's Printer in relation to your operations. Also this notice does not exempt the proposed activity from the general provisions of EPEA.

If you have any further questions, please do not hesitate to reach out to me.

Matt

*Alberta Environment and Protected Areas (EPA)*

**Masood (Matt) Haghighi**

**Deerfoot Square Building, Second Floor**

**2938 – 11 Street N.E.**

**Calgary, AB, T2E 7L7**

**Classification: Protected A**

**From:** Aref Seyyed Najaf [REDACTED]  
**Sent:** Saturday, February 01, 2025 6:07 PM  
**To:** Matt Haghighi [REDACTED]  
**Subject:** Environmental Permit Exemption

**CAUTION:** This email has been sent from an external source. Treat hyperlinks and attachments in this email with care.

[Quoted text hidden]



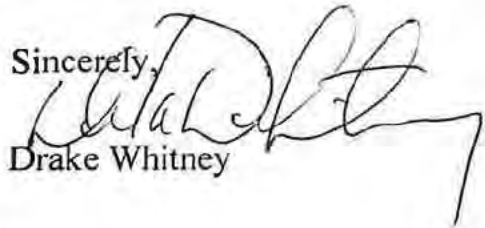
16.03.2025

**To Whom It May Concern,**

I, Drake Whitney, the registered owner of the property located at 263045 Township Rd 274, Irricana, AB T0M 1B0, Plan # 0512579, Block #1, Lot # 1, hereby authorize Aref Najafi to act on my behalf for all matters related to the development application for the mentioned property. This authority includes submitting applications, attending meetings, and providing any necessary documentation.

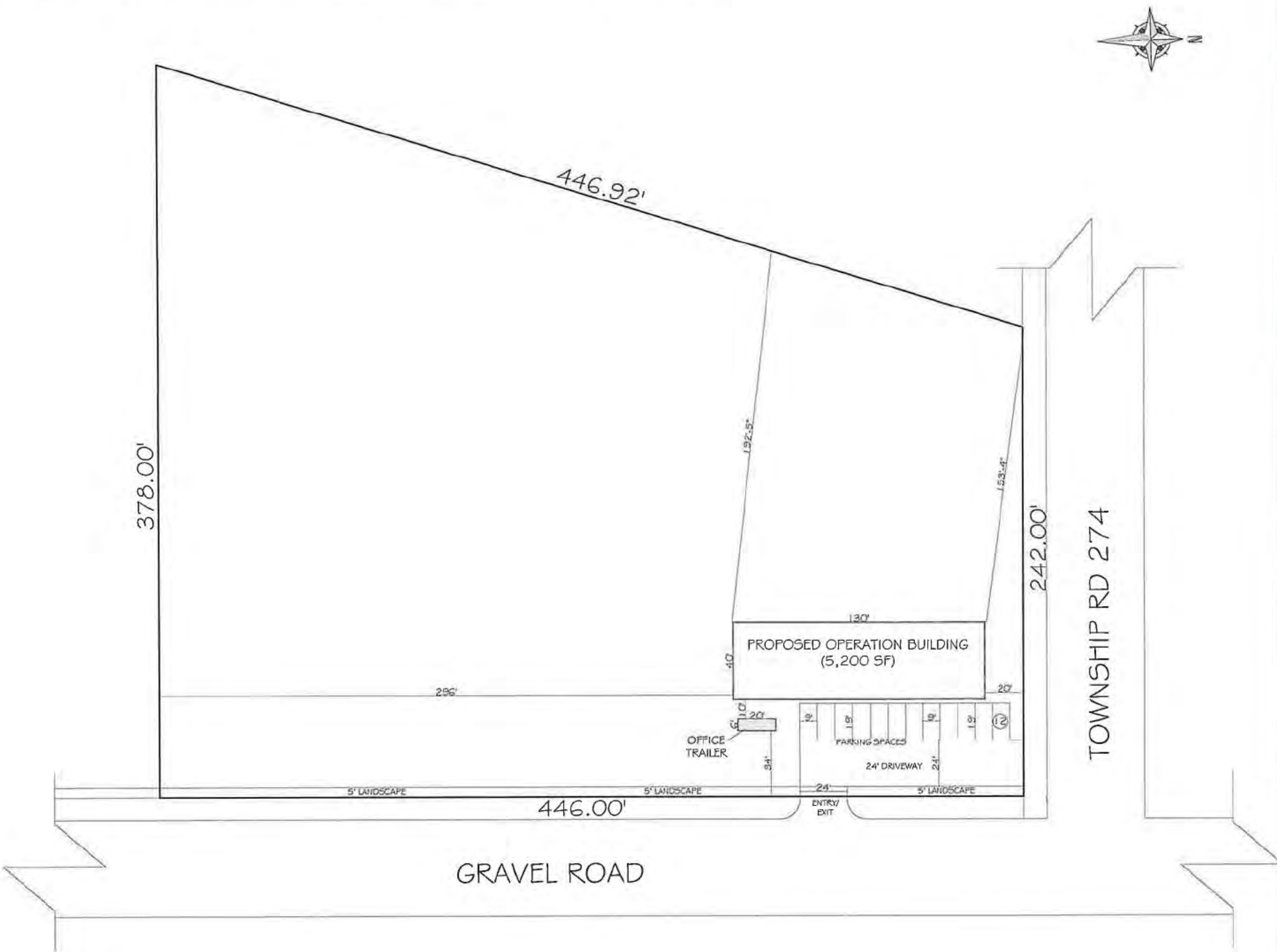
Should you require further confirmation, please do not hesitate to contact me at [REDACTED]

Sincerely,

  
Drake Whitney

SITE PLAN

LOCATION: 263045 Township Rd 274, Irricana, AB T0M 1B0, Canada



VICINITY MAP



SCOPE OF WORK

-SITE PLAN OF THE PROPERTY UNDER REVIEW  
SHOWING THE PROPOSED DEVELOPMENT.

LOT SIZE

3.173 Acres  
= 138,210 SF

SHEET TITLE

SITE PLAN

CLIENT NAME:

AREF SEYYED NAJAF

Architects, Planners & Project Managers

ARCHITECT Deen's consult  
DRAWN Deen's consult  
CHECKED BY Deen's consult

SCALE: 1"=30' DATE 03-18-2025

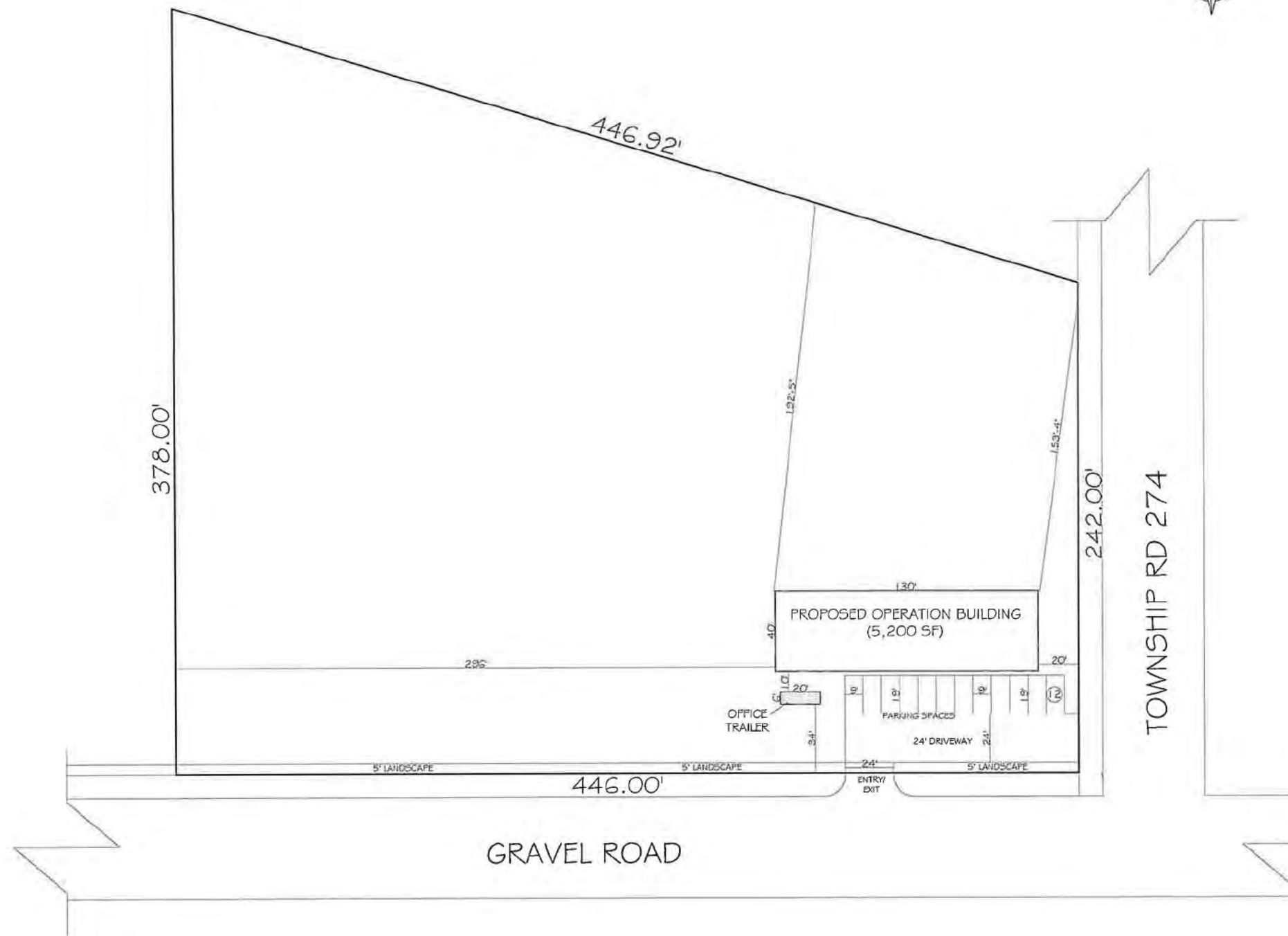
SHEET NO.

001

SITE PLAN

LOCATION: 263045 Township Rd 274, Irricana, AB T0M 1B0, Canada

LOCATION: 263045 Township Rd 274, Irricana, AB T0M 1B0, Canada



-SITE PLAN OF THE PROPERTY UNDER REVIEW  
SHOWING THE PROPOSED DEVELOPMENT.

-SITE PLAN OF THE PROPERTY UNDER REVIEW  
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138,210 SF

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138,210 SF

# SITE PLAN

AREF SEYYED NAJAF

Architects, Planners &amp; Project Managers

ARCHITECT	Deen's consult
DRAWN	Deen's consult
CHECKED BY	Deen's consult

SCALE:	1"=30'	DATE	03-18-2025
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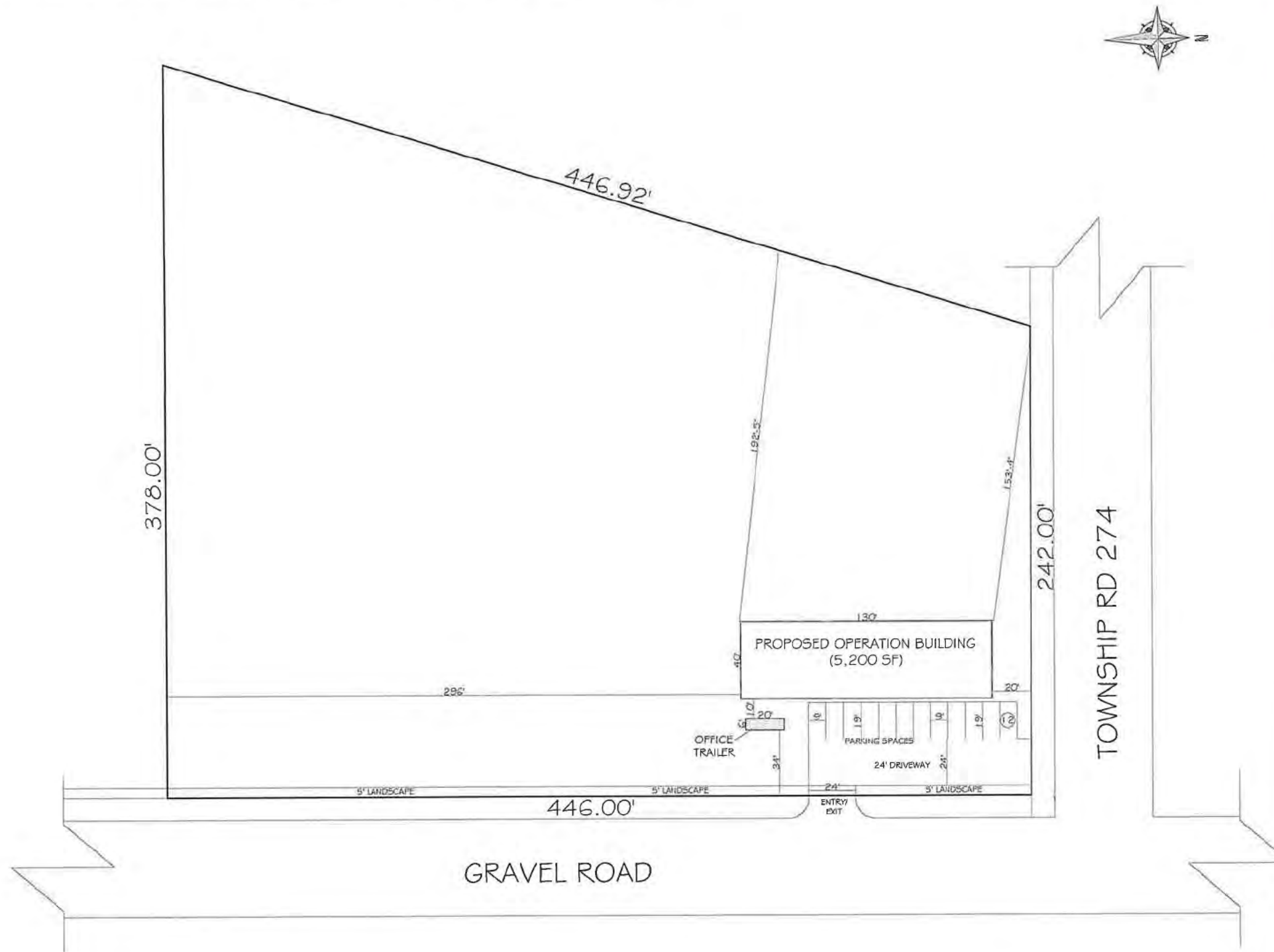
SHEET NO.

001



# SITE PLAN

LOCATION: 263045 Township Rd 274, Irricana, AB T0M 1B0, Canada



## VICINITY MAP



### SCOPE OF WORK

-SITE PLAN OF THE PROPERTY UNDER REVIEW  
SHOWING THE PROPOSED DEVELOPMENT.

### LOT SIZE

3.173 Acres  
=  
138,210 SF

SHEET TITLE

SITE PLAN

CLIENT NAME:

AREF SEYED NAJAF

Architects, Planners & Project Managers

ARCHITECT Deen's consult

DRAWN Deen's consult

CHECKED BY Deen's consult

SCALE: 1"=30'

DATE

03-18-2025

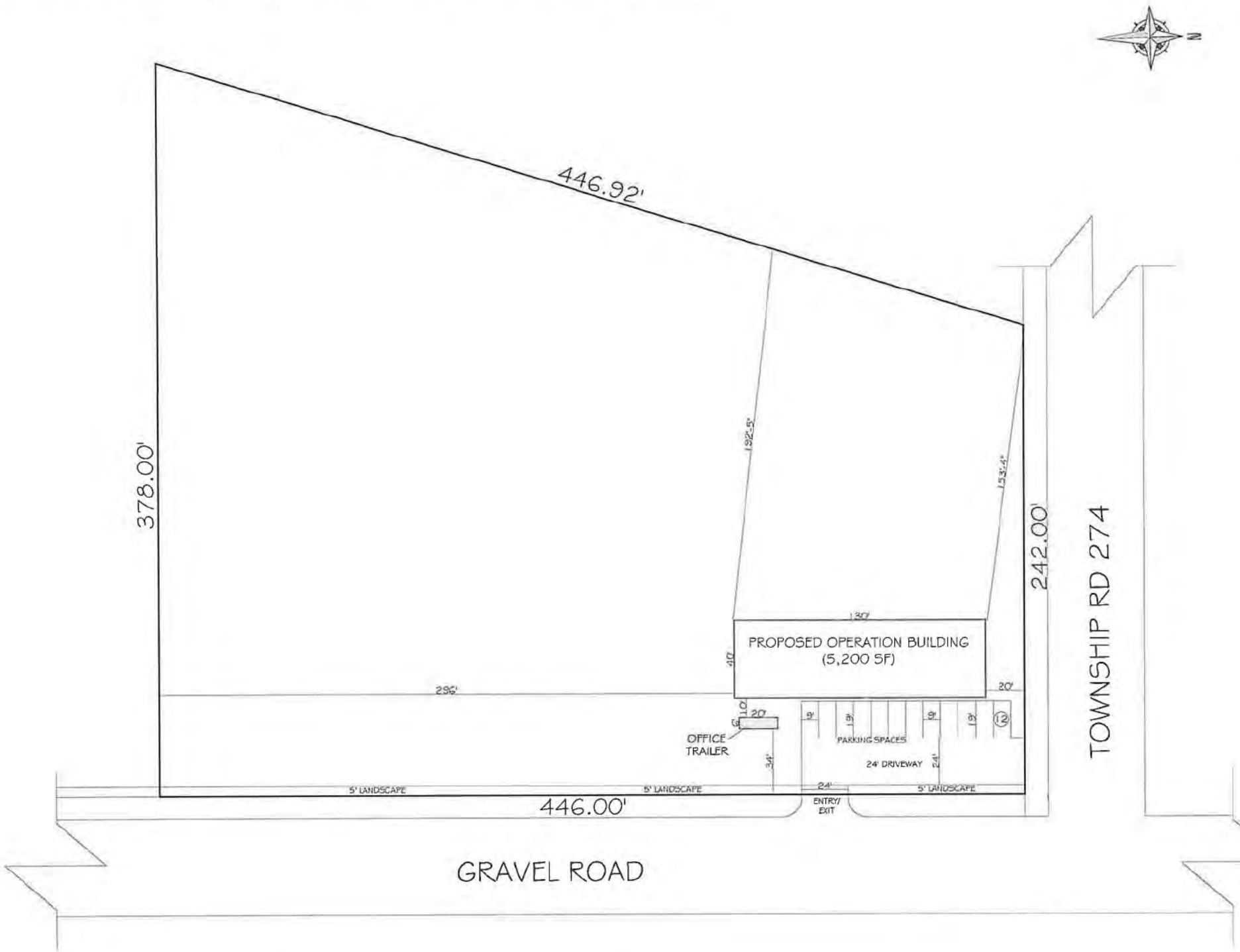
SHEET NO.

001



SITE PLAN

LOCATION: 263045 Township Rd 274, Irricana, AB TOM 1 B0, Canada



VICINITY MAP



SCOPE OF WORK

-SITE PLAN OF THE PROPERTY UNDER REVIEW  
SHOWING THE PROPOSED DEVELOPMENT.

LOT SIZE

3.173 Acres  
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138,210 SF

SHEET TITLE

SITE PLAN

CLIENT NAME:

AREF SEYED NAJAF

Architects, Planners & Project Managers

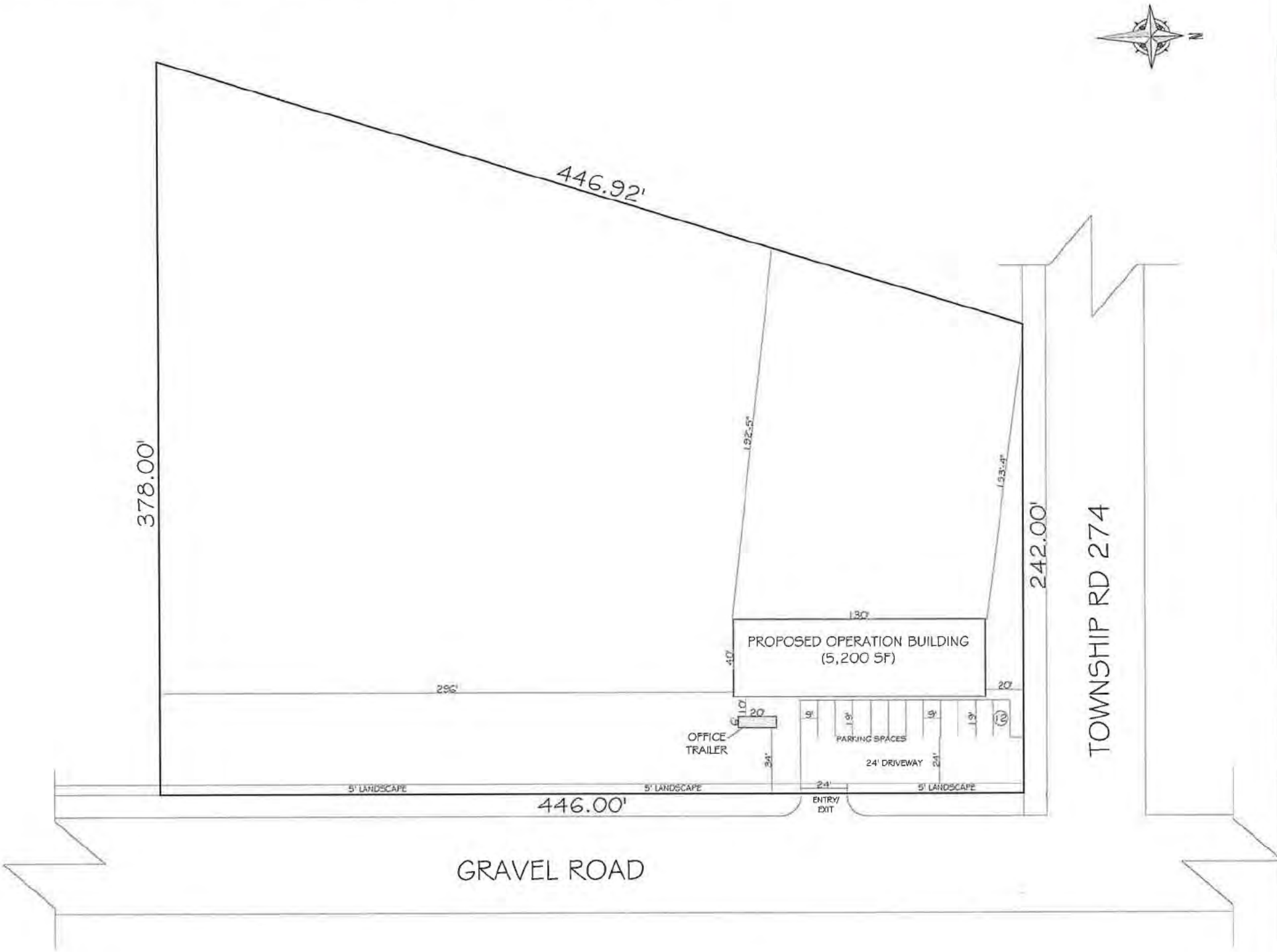
ARCHITECT	Deen's consult
DRAWN	Deen's consult
CHECKED BY	Deen's consult
SCALE: 1"=30'	DATE 03-18-2025

SHEET NO.

001

SITE PLAN

LOCATION: 263045 Township Rd 274, Irricana, AB T0M 1B0, Canada



VICINITY MAP



SCOPE OF WORK

-SITE PLAN OF THE PROPERTY UNDER REVIEW  
SHOWING THE PROPOSED DEVELOPMENT.

LOT SIZE

3.173 Acres  
=  
138,210 SF

SHEET TITLE

SITE PLAN

CLIENT NAME:

AREF SEYYED NAJAF

Architects, Planners & Project Managers

ARCHITECT	Deen's consult
DRAWN	Deen's consult
CHECKED BY	Deen's consult

SCALE: 1"=30'	DATE	03-18-2025
---------------	------	------------

SHEET NO.

001



\_\_\_\_\_  
*Building Permit Number*  
(for Authority Having Jurisdiction)

\_\_\_\_\_  
*Project Reference*  
(for Coordinating Registered Professional)

## National Building Code – 2023 Alberta Edition Schedule A

### CONFIRMATION OF COMMITMENT BY OWNER AND COORDINATING REGISTERED PROFESSIONAL

Notes:

1. Italicized words contained in this schedule have the same meanings as defined in the National Building Code – 2023 Alberta Edition (NBC(AE)).
2. This schedule shall be submitted by the owner to the *authority having jurisdiction* before issuance of a *building permit*.
3. If this schedule is signed by the owner's agent, a letter of appointment shall be attached to this schedule. If the owner is a corporation, the letter of appointment shall be signed by the owner's designated representative and the owner's designated representative shall set forth their position in the corporation.
4. This schedule is endorsed by the Alberta Association of Architects and the Association of Professional Engineers and Geoscientists of Alberta. Both associations have a user guide available on their website that provides information on the use of this schedule.

To: the *authority having jurisdiction*

Superior Safety Codes, Calgary, AB

\_\_\_\_\_  
*Name of authority having jurisdiction (print)*

Re:

2677086 Alberta Inc.

\_\_\_\_\_  
*Name of project (print)*

2579 Township Rd. 274, Irricana, AB

\_\_\_\_\_  
*Address of project (print)*

\_\_\_\_\_  
*Legal survey description of project (print)*

The undersigned owner has retained

Michael J. McLeod, P.Eng.

\_\_\_\_\_  
*Name of registered professional*

of

\_\_\_\_\_  
*Name of professional permit holder (if applicable)*

as a *coordinating registered professional* to coordinate the design and *field reviews* of the *registered professionals of record* required for this *project*. The undersigned owner has confirmed the *coordinating registered professional* has the

## National Building Code – 2023 Alberta Edition

### Schedule A

relevant experience for the *project* and has confirmed the *coordinating registered professional* and the *professional permit holder* they are appointed by (if applicable) are licensed in accordance with the Architects Act or the Engineering and Geoscience Professions Act.

The undersigned owner shall identify the *constructor* to the *authority having jurisdiction* as soon as possible.

\_\_\_\_\_  
Name of *constructor* (if known)

\_\_\_\_\_  
*Constructor's* contact information:

The undersigned owner shall

- (a) ensure the relationship between the *coordinating registered professional* and the *constructor* is clear with regard to meeting the Safety Codes Act (SCA) related requirements of the *project*;
- (b) notify the *authority having jurisdiction* should the undersigned *coordinating registered professional* or the undersigned *professional permit holder* (if applicable) cease to be retained at any time during the *project*. Notification shall be given before the date the *coordinating registered professional* or the *professional permit holder* (if applicable) ceases to be retained; if that is not possible, then as soon as possible;
- (c) cease work on the portion of the *project* for which the undersigned *coordinating registered professional* was responsible should the *coordinating registered professional* or the undersigned *professional permit holder* (if applicable) cease to be retained until such time as
  - (i) a new *coordinating registered professional* or the *professional permit holder* the *coordinating registered professional* is appointed by (if applicable) is retained, and
  - (ii) a new Schedule A is filed with the *authority having jurisdiction*;
- (d) notify the *authority having jurisdiction* should a *registered professional of record* or the *professional permit holder* the *registered professional of record* is appointed by (if applicable) cease to be retained at any time during the *project*. Notification shall be given before the date the *registered professional of record* or the *professional permit holder* the *registered professional of record* is appointed by (if applicable) ceases to be retained; if that is not possible, then as soon as possible; and
- (e) cease work on the portion of the *project* for which the *registered professional of record* was responsible should a *registered professional of record* or the *professional permit holder* the *registered professional of record* is appointed by (if applicable) cease to be retained until such time as
  - (i) a new *registered professional of record* or the *professional permit holder* the *registered professional of record* is appointed by (if applicable) is retained, and
  - (ii) a new Schedule B is filed with the *authority having jurisdiction*.

The undersigned *coordinating registered professional* shall

- (a) identify the *project* scope and the details of the *project*;

## National Building Code – 2023 Alberta Edition

### Schedule A

- (b) determine if professional involvement is required by the NBC(AE), SCA, Architects Act, Engineering and Geoscience Professions Act and *authority having jurisdiction*. A building code analysis to support the *coordinating registered professional's* determination of professional involvement shall be attached to this schedule or included with the drawings and specifications submitted in support of the *building permit* application;
- (c) document the *registered professionals of record* and the *professional permit holder* each *registered professional of record* is appointed by (if applicable) that will perform the following *work* as applicable
  - (i) Architectural/licensed interior design
  - (ii) Structural
  - (iii) Mechanical
  - (iv) Electrical
  - (v) Geotechnical
- (d) identify all authorized entities involved in the *project*
  - (i) *Authority having jurisdiction*
  - (ii) Owner, owner's designated representative and the owner's agent (if applicable)
  - (iii) *Professional permit holders*
  - (iv) *Coordinating registered professional*
  - (v) *Registered professionals of record*

the list of authorized entities shall be attached to this schedule or included with the drawings and specifications submitted in support of the *building permit* application;
- (e) confirm, through documentation, that all *registered professionals of record* and *professional permit holders* involved in the *project* are competent to perform their responsibilities and are licensed with a sufficient scope of practice in accordance with the Architects Act or the Engineering and Geoscience Professions Act. (See Note A-1.4.1.2.(1) of Division A of the NBC(AE).);
- (f) document changes to the authorized entities involved in the *project*;
- (g) document changes to the *project* scope;
- (h) coordinate the design done by the *registered professionals of record* to ensure that the design will substantially comply with the NBC(AE) and the SCA;
- (i) obtain Schedule C-2 from each *registered professional of record* with supporting Schedules C-3 (if applicable) attached to ensure that *field reviews* have been completed and the final design of the *project* (including approved changes), as constructed, substantially complies with the NBC(AE) and SCA;
- (j) ensure authenticated documents submitted to the *coordinating registered professional* are authenticated by a *registered professional* in accordance with the requirements of the Architects Act or the Engineering and Geoscience Professions Act;
- (k) notify the owner and *authority having jurisdiction* should they or the undersigned *professional permit holder* (if applicable) cease to be retained at any time during the *project*. Notification shall be given before the date the *coordinating registered professional* or the *professional permit holder* (if applicable) ceases to be retained; if that is not possible, then as soon as possible; and
- (l) notify the owner and *authority having jurisdiction* should a *registered professional of record* or the *professional permit holder* the *registered professional of record* is appointed by (if applicable) cease to be retained at any time during the *project*. Notification shall be given before the date the *registered professional of record* or the *professional permit holder* the *registered professional of record* is appointed by (if applicable) ceases to be retained; if that is not possible, then as soon as possible.

\_\_\_\_\_  
*Building Permit Number*  
(for Authority Having Jurisdiction)

\_\_\_\_\_  
*Project Reference*  
(for Coordinating Registered Professional)

## **National Building Code – 2023 Alberta Edition Schedule A**

All information required above shall be fully transparent and readily available to all authorized entities involved in the *project*.

The undersigned *professional permit holder* shall notify the owner and *authority having jurisdiction* should they or the undersigned *coordinating registered professional* cease to be retained at any time during the *project*. Notification shall be given before the date the *professional permit holder* or *coordinating registered professional* ceases to be retained; if that is not possible, then as soon as possible.

The undersigned owner and *coordinating registered professional* confirm they have read and understand Part 1 of Division A and Part 2 of Division C of the NBC(AE).

The undersigned *coordinating registered professional* gives assurance of competence in the necessary fields of expertise to undertake the *project* and that they are a *registered professional* as defined in the NBC(AE).



\_\_\_\_\_  
*Building Permit Number*  
(for Authority Having Jurisdiction)

\_\_\_\_\_  
*Project Reference*  
(for Coordinating Registered Professional)

## National Building Code – 2023 Alberta Edition Schedule A

**Professional Permit Holder** (if applicable)

\_\_\_\_\_  
*Professional permit holder's phone number*

\_\_\_\_\_  
*Professional permit holder's e-mail (print)*

\_\_\_\_\_  
*Professional permit holder's validation*

### **Coordinating Registered Professional**

\_\_\_\_\_  
Michael J. McLeod, P.Eng.

\_\_\_\_\_  
*Coordinating registered professional's legal name (print)*

21041 Big Hill Springs Rd.  
Rocky View, AB  
T4B 4P9

\_\_\_\_\_  
*Coordinating registered professional's address (print)*

\_\_\_\_\_  
*Coordinating registered professional's phone number*

\_\_\_\_\_  
*Coordinating registered professional's e-mail (print)*

\_\_\_\_\_  
*Coordinating registered professional's authentication*

\_\_\_\_\_  
*Building Permit Number*  
*(for Authority Having Jurisdiction)*

\_\_\_\_\_  
*Project Reference*  
*(for Coordinating Registered Professional)*

## **National Building Code – 2023 Alberta Edition Schedule A**

### **Owner**

\_\_\_\_\_  
Owner's legal name (print)

\_\_\_\_\_  
Owner's designated representative's or agent's legal  
name (print)

\_\_\_\_\_  
Owner's address (print)

\_\_\_\_\_  
Owner's phone number

\_\_\_\_\_  
Owner's, owner's designated representative's or agent's  
signature

\_\_\_\_\_  
Owner's e-mail (print)

\_\_\_\_\_  
Date

## National Building Code – 2023 Alberta Edition Schedule B

### ASSURANCE OF PROFESSIONAL DESIGN INVOLVEMENT AND COMMITMENT FOR *FIELD REVIEWS* BY THE *REGISTERED PROFESSIONAL OF RECORD*

Notes:

1. Italicized words contained in this schedule have the same meanings as defined in the National Building Code – 2023 Alberta Edition (NBC(AE)).
2. This schedule shall be submitted by each *registered professional of record* to the *coordinating registered professional* before the application for a *building permit* is submitted.
3. This schedule is endorsed by the Alberta Association of Architects and the Association of Professional Engineers and Geoscientists of Alberta. Both associations have a user guide available on their website that provides information on the use of this schedule.

To: the *coordinating registered professional*

Michael J. McLeod, P.Eng.

Name of *coordinating registered professional* (print)

Re:

2677086 Alberta Inc.

Name of *project* (print)

2579 Township Rd. 274, Irricana, AB

Address or legal survey description of *project* (print)

The undersigned *registered professional of record* hereby gives assurance that

(a) the design of the

(Instructions: Mark only the component(s) listed below that the undersigned *registered professional of record* is responsible for)

☐ architectural/licensed interior design

☒ structural

☐ mechanical

☐ electrical

☐ geotechnical

components of the *project* described on the drawings and specifications prepared by the undersigned *registered professional of record* in support of the application for a *building permit*, substantially complies with the NBC(AE) and the Safety Codes Act (SCA);

(b) they shall conduct or coordinate *field reviews* during construction of the above referenced components to verify the final design of the components (including approved changes), as constructed, substantially complies with the NBC(AE) and SCA;

(c) they shall notify the *coordinating registered professional* should they or the undersigned *professional permit holder* (if applicable) cease to be retained at any time during the *project*. Notification shall be given before the

## National Building Code – 2023 Alberta Edition Schedule B

date the *registered professional of record* or the undersigned *professional permit holder* (if applicable) ceases to be retained; if that is not possible, then as soon as possible; and

- (d) they are a *registered professional* as defined in the NBC(AE) and licensed with a sufficient scope of practice in accordance with the Architects Act or the Engineering and Geoscience Professions Act. (See Note A-1.4.1.2.(1) of Division A of the NBC(AE).)

The design and *field reviews* delegated to other *registered professionals* are described in the drawings and specifications prepared by the undersigned *registered professional of record* and the following Schedules C-3 shall be provided after substantial completion of the *project*. The undersigned *registered professional of record* shall confirm, through documentation, that *registered professionals* and the *professional permit holder* each *registered professional* is appointed by (if applicable) that have been delegated design and *field reviews* are competent to perform their responsibilities. The undersigned *registered professional of record* will review or coordinate the review of all applicable shop drawings.

Schedules C-3 required:

The *constructor* is responsible under the SCA to ensure that the *work* complies with the drawings and specifications.

The undersigned *professional permit holder* shall notify the *coordinating registered professional* should they or the undersigned *registered professional of record* cease to be retained at any time during the *project*. Notification shall be given before the date the *professional permit holder* or *registered professional of record* ceases to be retained; if that is not possible, then as soon as possible.

\_\_\_\_\_  
*Building Permit Number*  
(for Authority Having Jurisdiction)

\_\_\_\_\_  
*Project Reference / Components*  
(for Registered Professional of Record)

## National Building Code – 2023 Alberta Edition Schedule B

**Professional Permit Holder** (if applicable)

\_\_\_\_\_  
*Professional permit holder's phone number*

\_\_\_\_\_  
*Professional permit holder's e-mail (print)*

\_\_\_\_\_  
*Professional permit holder's validation*

### **Registered Professional of Record**

\_\_\_\_\_  
Michael J. McLeod, P.Eng.

\_\_\_\_\_  
*Registered professional of record's legal name (print)*

21041 Big Hill Springs Rd.  
Rocky View, AB  
T4B 4P9

\_\_\_\_\_  
*Registered professional of record's address (print)*

\_\_\_\_\_  
*Registered professional of record's phone number*

\_\_\_\_\_  
*Registered professional of record's e-mail (print)*

\_\_\_\_\_  
*Registered professional of record's authentication*





Building Systems

2677086 ALBERTA INC

40'x130'x16' SHOP

NOTES:

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ENGINEER IN WRITING.

THE CUSTOMER/CONTRACTOR SHALL NOT ALTER THE CONSTRUCTION FROM THAT WHICH IS CONTAINED IN THIS SEALED DRAWING SET WITHOUT PRIOR APPROVAL OF THE ENGINEER WHO'S SEAL APPEARS HEREON. THE OWNER MUST PROVIDE THE CONTRACTOR WITH A COPY OF ALL PERMITS ISSUED WITH RESPECT TO THIS PROPERTY.

DRAWING REVISIONS:

- A.1 ISSUED FOR REVIEW
- A.2 ISSUED FOR CONSTRUCTION

DRAWING SCHEDULE:

COVER	S.0.0
GENERAL NOTES	S.1.0
SCHEDULES	S.1.1
POST LAYOUT	S.2.0
MAIN FLOOR PLAN	S.2.1
ROOF PLAN	S.2.2
EXTERIOR ELEVATIONS	S.3.0
EXTERIOR ELEVATIONS	S.3.1
BUILDING SECTIONS	S.4.0
TYPICAL DETAILS	S.5.0
TYPICAL DETAILS	S.5.1
TYPICAL DETAILS	S.5.2

ISSUED FOR CONSTRUCTION

PROJECT NO. 13171 2677086ALBERTA INC		REV A.2
SCALE AS NOTED	DATE (MM/DD/YY) 06/04/2025	
DRAWN	CHECKED	ENGINEER
CONFIDENTIAL-PROPRIETARY THIS DRAWING IS THE PROPERTY OF DBARD BUILDING SYSTEMS LTD. AND IS SUBJECT TO RETURN UPON REQUEST. THE DRAWING INCLUDES CONFIDENTIAL AND PROPRIETARY INFORMATION OF DBARD BUILDING SYSTEMS LTD. AND IS LOANED IN CONFIDENCE WITH THE UNDERSTANDING THAT IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT EXPRESSED WRITTEN PERMISSION, AND THAT NEITHER THE DRAWING NOR INFORMATION HEREIN BE USED ADVERSLY TO DBARD BUILDING SYSTEMS LTD. COPYRIGHT (2016)		

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PH 403.912.9600  
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PROJECT 2677086 ALBERTA INC
LAND DESCRIP. 2579 TOWNSHIP RD 274 IRRICANA, AB.
DWG NO. S.0.0 COVER



FRAMING GENERAL NOTES:

- 1. VERIFY GRADE ELEVATION RELATIVE TO SITE WITH OWNER PRIOR TO CONSTRUCTION.
- 2. ALL INSULATING FILL MATERIAL SHALL BE PLACED IN AREAS NOT EXCEEDING 6" AND SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
- 3. ALL FRAMING LUMBER SHALL COMPLY WITH RELEVANT SECTIONS OF CSA-086 AND CSA-0141, AND TO THE NATIONAL LUMBER GRADES AND STANDARD GRADING RULES.
- 4. MOISTURE CONTENT SHALL NOT EXCEED 19% FOR EXTERIOR CONSTRUCTION AND 12% FOR INTERIOR CONSTRUCTION.
- 5. SHEETING STAPLES: HOT DIP GALVANIZED, TO CONFORM TO CSA-B111.
- 6. HARDWARE: BOLTS, NUTS, WASHERS, LAGS, PINS,SCREWS, HOT DIP GALVANIZED TO CONFORM TO CSA-G164.
- 7. WOOD PRESERVATIVE: CCA PRESERVATIVE TO CONFORM TO CSA-080.15 & BRUSH TREAT FIELD CUTS WITH COPPER NAPHTHENATE.
- 8. CONTRACTOR IS TO NOTIFY ENGINEER OF ANY DISCREPANCIES OR DEVIATIONS IN THE EXISTING SITE PRIOR TO COMMENCING CONSTRUCTION AND AWAIT FURTHER INSTRUCTIONS.
- 9. CONTRACTOR TO PROVIDE THE ENGINEER WITH SHOP DRAWINGS OF THE TRUSSES FOR REVIEW.
- 10. FRAMING MATERIAL: UNLESS NOTED OTHERWISE, SHALL BE GRADE #2 OR BETTER.

CONCRETE GENERAL NOTES:

- 1. CONCRETE FLOOR: (AS REQUIRED) BY OTHERS
  - MIN THICKNESS: 6"
  - MIN COMPRESS STRENGTH (28DAY): 32MPa
  - AGGREGATE SIZE (MAX) : ¾"
- 2. CONCRETE PILES/FOOTINGS:
  - MIN THICKNESS: 12"
  - MIN COMPRESS STRENGTH (28DAY): TYPE 50, 30MPa FOR FOOTINGS

DESIGN BUILDING LOADS, IRRICANA, AB:

GROUND SNOW LOAD25.1 GSL (psf)(AIRDRIE, AB)

GENERAL NOTES:

- 1. PRIOR TO CONSTRUCTION: STRIP ALL TOP SOIL TO ENSURE ALL ORGANIC MATERIAL IS REMOVED
- 2. ALL NEW GRADE WORK IS TO BE SLOPED AWAY FROM BUILDING
- 3. BUILDING FOUNDATION DESIGNED IN ACCORDANCE WITH THE NATIONAL BUILDING CODE 2019 ALBERTA EDITION
- 4. FOUNDATION DESIGN BASED ON A SOIL BEARING PRESSURE OF 2400psf FOR A CONFINED FOOTING IN COMPACT GRAVEL, SAND OR SILT

DRAWING NOTES:

DRAWINGS ARE NOT TO BE SCALED, BUT ARE TO BE USED TO DETERMINE THE GENERAL LAYOUT. ALL DIMENSIONAL DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE ENGINEER.

ISSUED FOR CONSTRUCTION

PROJECT NO. 13171 2677086ALBERTAINC		REV A.2
SCALE AS NOTED	DATE (MM/DD/YY) 06/04/2025	
DRAWN	CHECKED	ENGINEER
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PROJECT  
2677086 ALBERTA INC

LAND DESCRIP.  
2579 TOWNSHIP RD 274  
IRRICANA, AB.

DWG NO.  
S.1.0 GENERAL NOTES

OPENING(S) SCHEDULE						
	DESCRIPTION	QTY.	WIDTH	HEIGHT	TYPE	HINGE
	DOORS					
D1	MAN DOOR	2	3'-0"	6'-8"	STANDARD – OUTSWING	LHH
D2	OVERHEAD DOOR	2	14'-0"	14'-0"	STANDARD W/ 2 x COMMERCIAL OPERATORS	
	GLAZING					
G1	WINDOW	2	48"	36"	PVC – SLIDER	

ABBREVIATION LEGEND	
B/W	BETWEEN
C/W	COMES WITH OR COMPLETE WITH
I.F/O.F.	INSIDE FACE OR OUTSIDE FACE
LHH/RHH	LEFT OR RIGHT HAND HINGE
O.C.	ON CENTER
R.O.	ROUGH OPENING
T/O B/O	TOP OF BOTTOM OF
TYP.	TYPICAL
U/S	UNDERSIDE
U.N.O.	UNLESS NOTED OTHERWISE

POST SCHEDULE			
TYPE	QTY.	DESCRIPTION	LENGTH
P1	4	3PLY 2"x8" POST	22'
P2	40	4PLY 2"x8" POST	22'
TOTAL	44		

CONCRETE VOLUME	
2.70 m <sup>3</sup>	24" COLLAR
1.25 m <sup>3</sup>	12" PAD
3.95 m <sup>3</sup>	TOTAL VOLUME

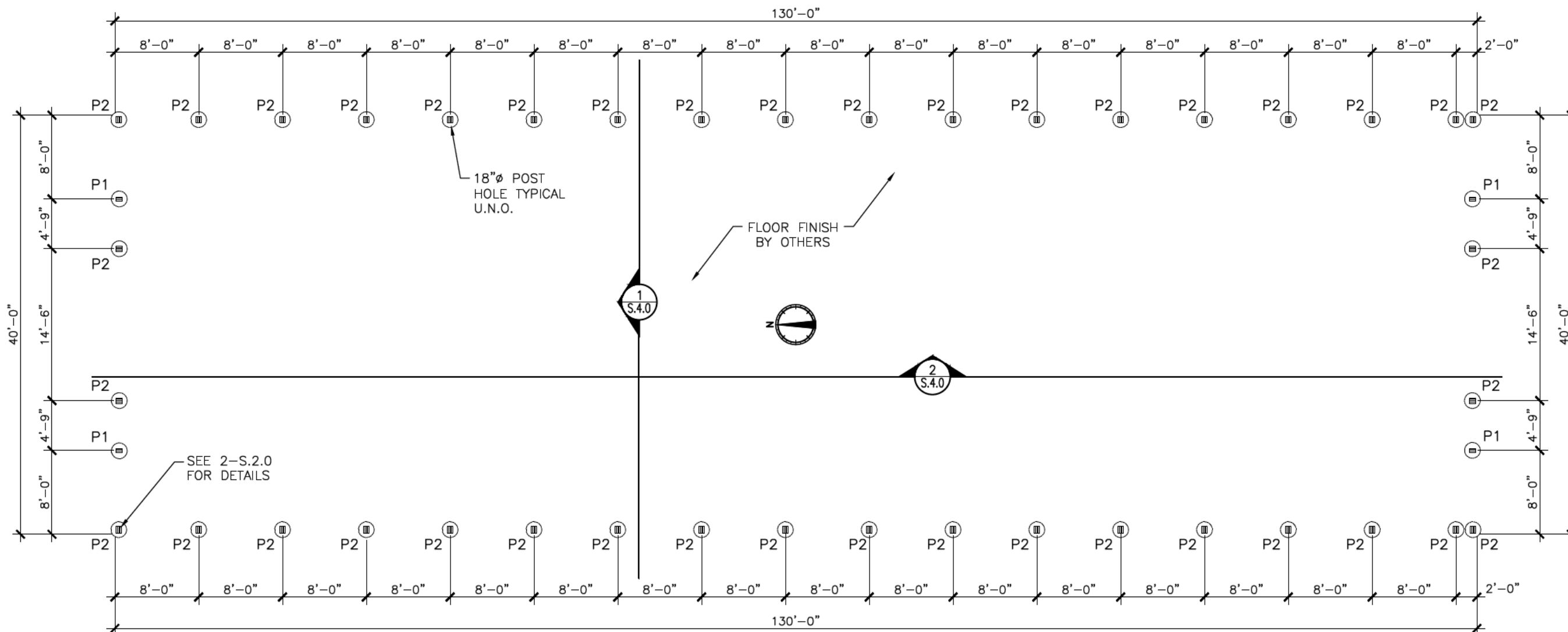
ROOF SCHEDULE	
R-1	<div>ROOF CONSTRUCTION</div> <div><div>– 29 GA. HIGH TENSILE METAL CLADDING</div><div>– 29 GA. VENTED RIDGE CAP</div><div>– 2"x6" PURLINS @ 24" O.C.</div><div>– PRE-ENGINEERED TRUSSES @ 48" O.C.</div><div>– R40 BLOWN-IN INSULATION</div><div>– 6MIL CGSB VAPOUR BARRIER</div><div>– 29 GA. HIGH TENSILE METAL CLADDING</div></div>

WALL SCHEDULE	
W-1	<div>WALL CONSTRUCTION</div> <div><div>– 29 GA. HIGH TENSILE METAL CLADDING</div><div>– 2"x6" STRAPPING @ 24" O.C. EXTERIOR</div><div>– 2"x8" 3 &amp; 4PLY POSTS @ 8'-0" O.C. (U.N.O.)</div><div>– R28 BATT INSULATION</div><div>– 6MIL CGSB VAPOUR BARRIER</div><div>– 2"x4" STRAPPING @ 24" O.C. INTERIOR</div><div>– 29 GA. HIGH TENSILE METAL CLADDING</div></div>

ISSUED FOR CONSTRUCTION

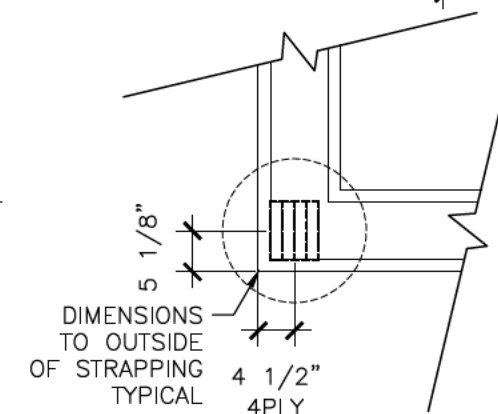
PROJECT NO. 13171 2677086ALBERTA INC		REV A.2
SCALE AS NOTED	DATE (MM/DD/YY) 06/04/2025	
DRAWN	CHECKED	ENGINEER
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PROJECT 2677086 ALBERTA INC	
LAND DESCRIP. 2579 TOWNSHIP RD 274 IRRICANA, AB.	
DWG NO. S.1.1 SCHEDULES	



**1 POST LAYOUT**  
S.2.0 SCALE: 3/32" = 1'-0"

**2 POST DETAIL**  
S.2.0 SCALE: 1/2" = 1'-0"



ISSUED FOR CONSTRUCTION

PROJECT NO. 13171 2677086ALBERTA INC		REV A.2
SCALE AS NOTED	DATE (MM/DD/YY) 06/04/2025	
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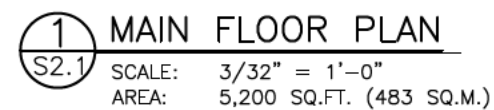
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PROJECT  
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IRRICANA, AB.

DWG NO.  
S.2.0 POST LAYOUT





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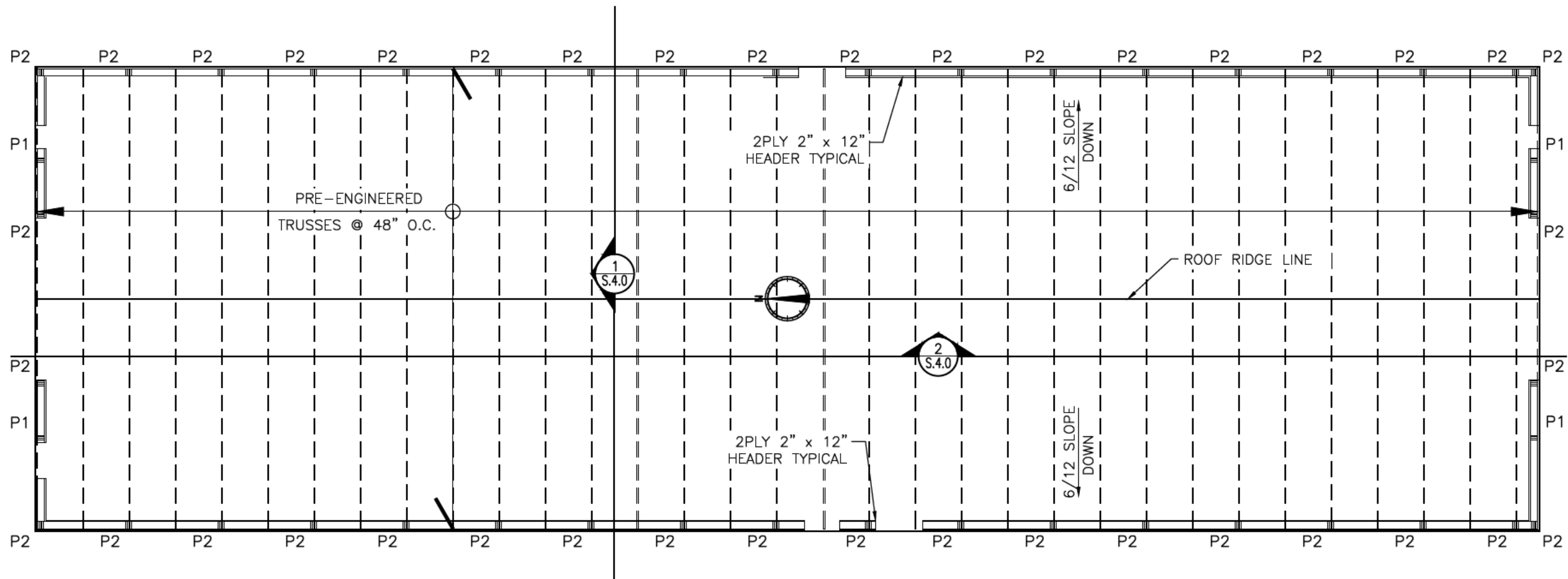


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PROJECT	2677086 ALBERTA INC
---------	---------------------

LAND DESCRIP.  
2579 TOWNSHIP RD 274  
IRRICANA, AB.

DWG NO.  
S.2.1 MAIN FLOOR PLAN




1 ROOF PLAN  
S2.2 SCALE: 3/32" = 1'-0"

ISSUED FOR CONSTRUCTION

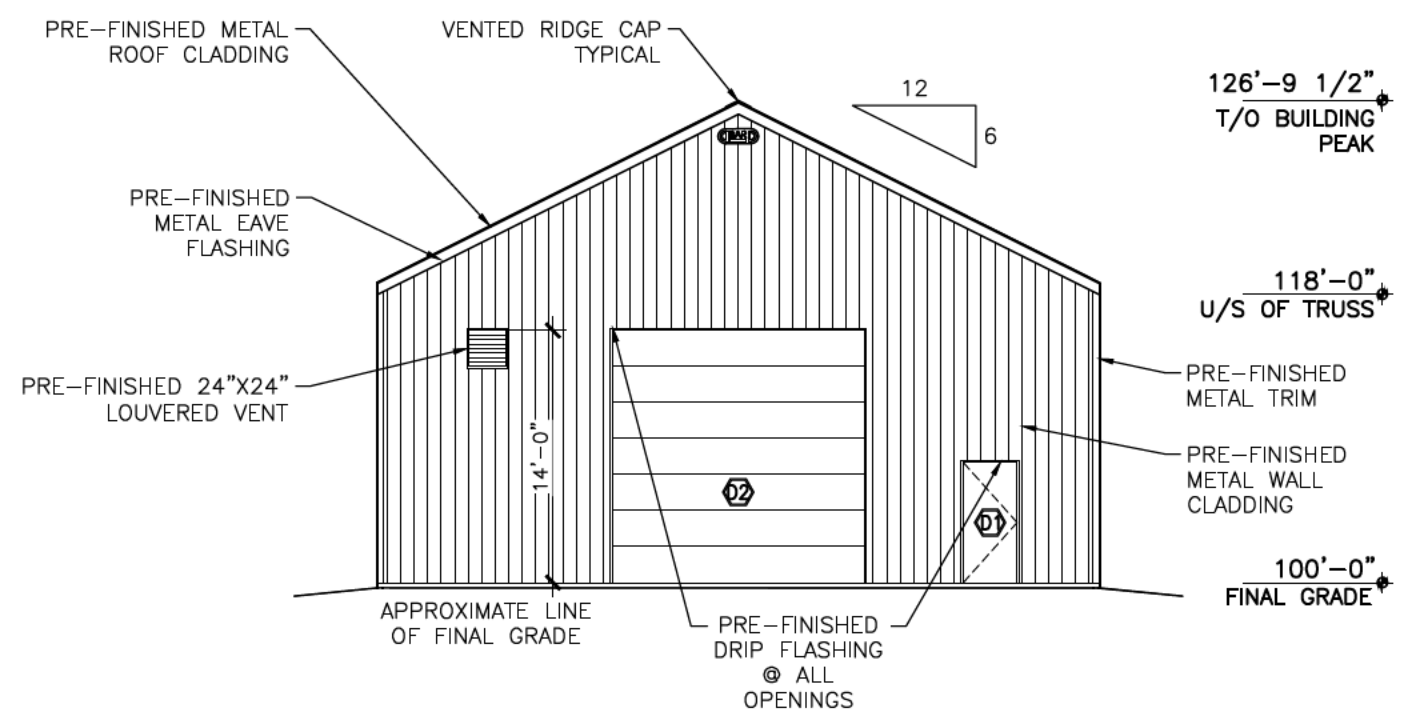
PROJECT NO. 13171 2677086ALBERTA INC		REV A.2
SCALE AS NOTED	DATE (MM/DD/YY) 06/04/2025	
DRAWN	CHECKED	ENGINEER
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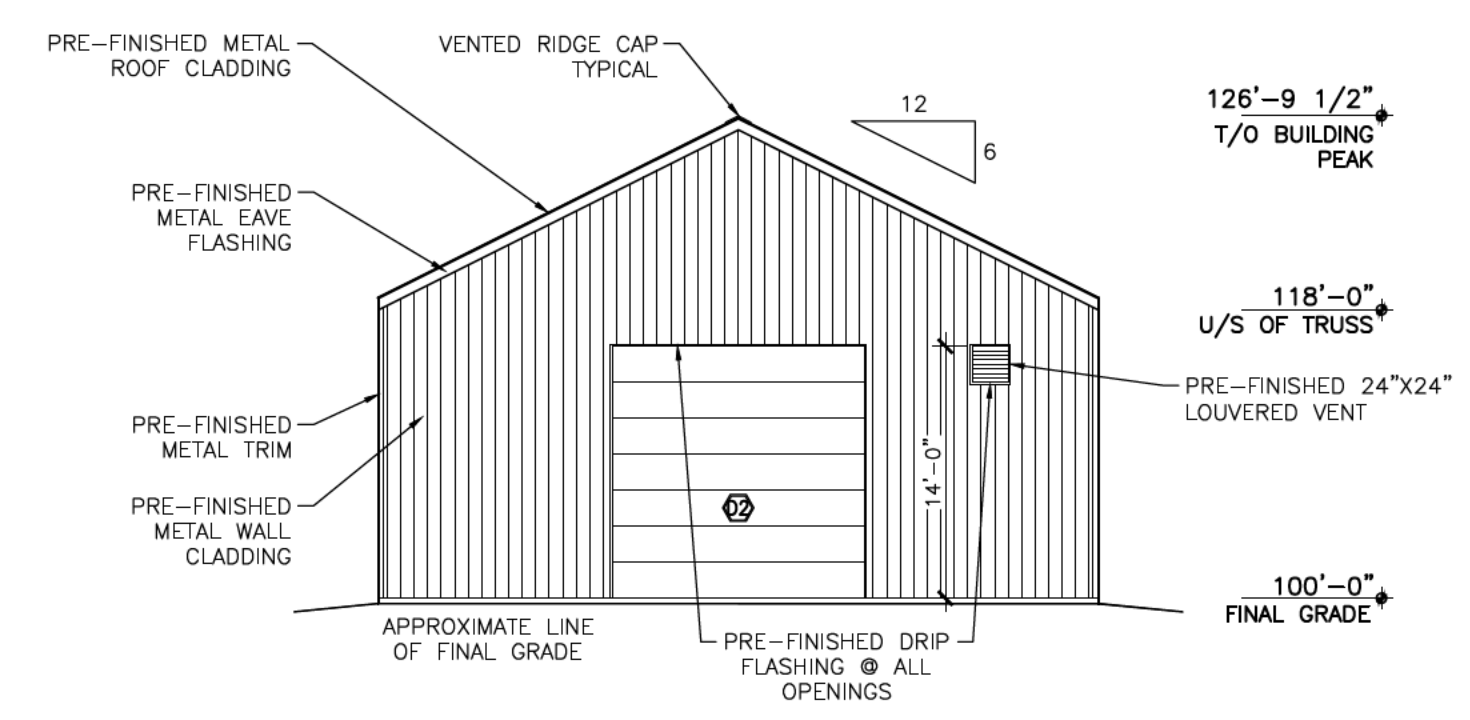


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PROJECT 2677086 ALBERTA INC
LAND DESCRIP. 2579 TOWNSHIP RD 274 IRRICANA, AB.
DWG NO. S.2.2 ROOF PLAN



1 NORTH ELEVATION  
S3.0 SCALE: 3/32" = 1'-0"



2 SOUTH ELEVATION  
S3.0 SCALE: 3/32" = 1'-0"

ISSUED FOR CONSTRUCTION

PROJECT NO. 13171 2677086ALBERTA INC		REV A.2
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PROJECT

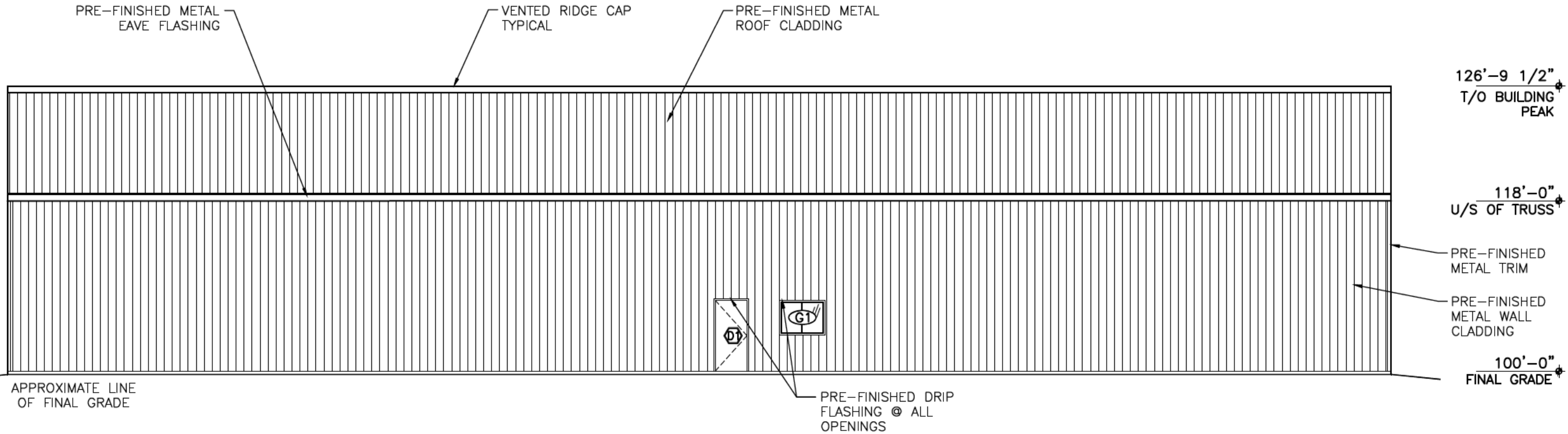
2677086 ALBERTA INC

LAND DESCRIP.

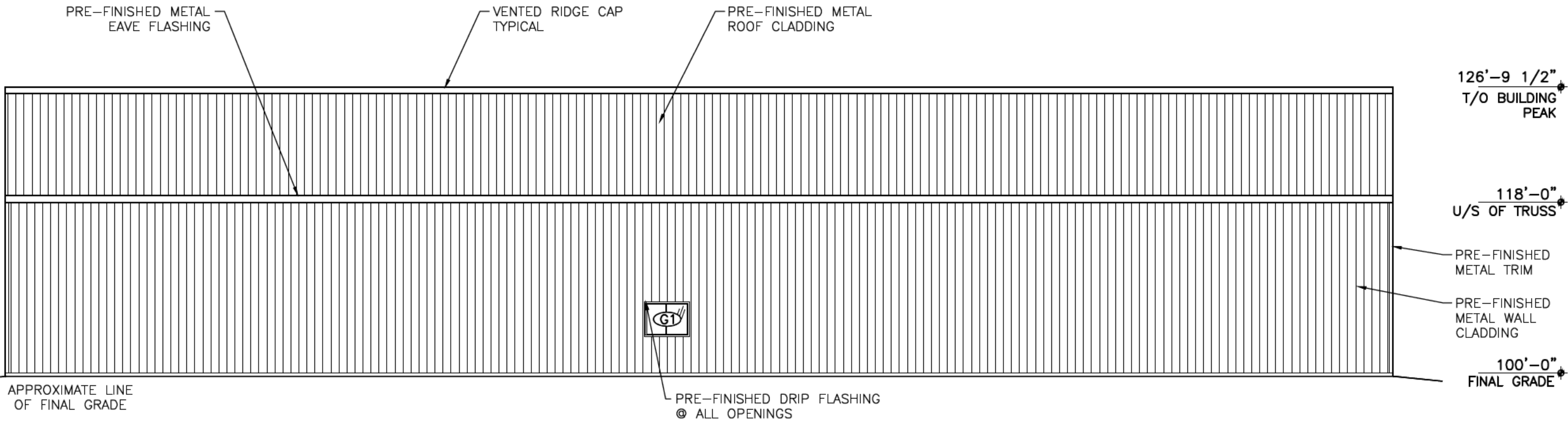
2579 TOWNSHIP RD 274  
IRRICANA, AB.

DWG NO.

S.3.0 EXTERIOR ELEVATIONS



1 WEST ELEVATION  
S3.1 SCALE: 3/32" = 1'-0"



2 EAST ELEVATION  
S3.0 SCALE: 3/32" = 1'-0"

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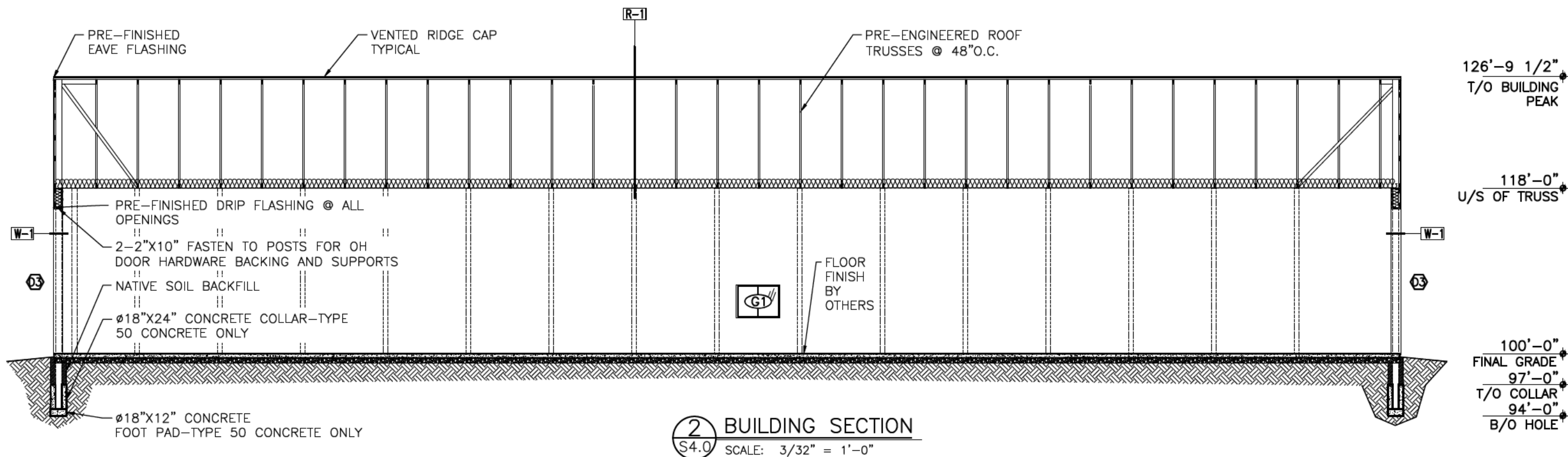
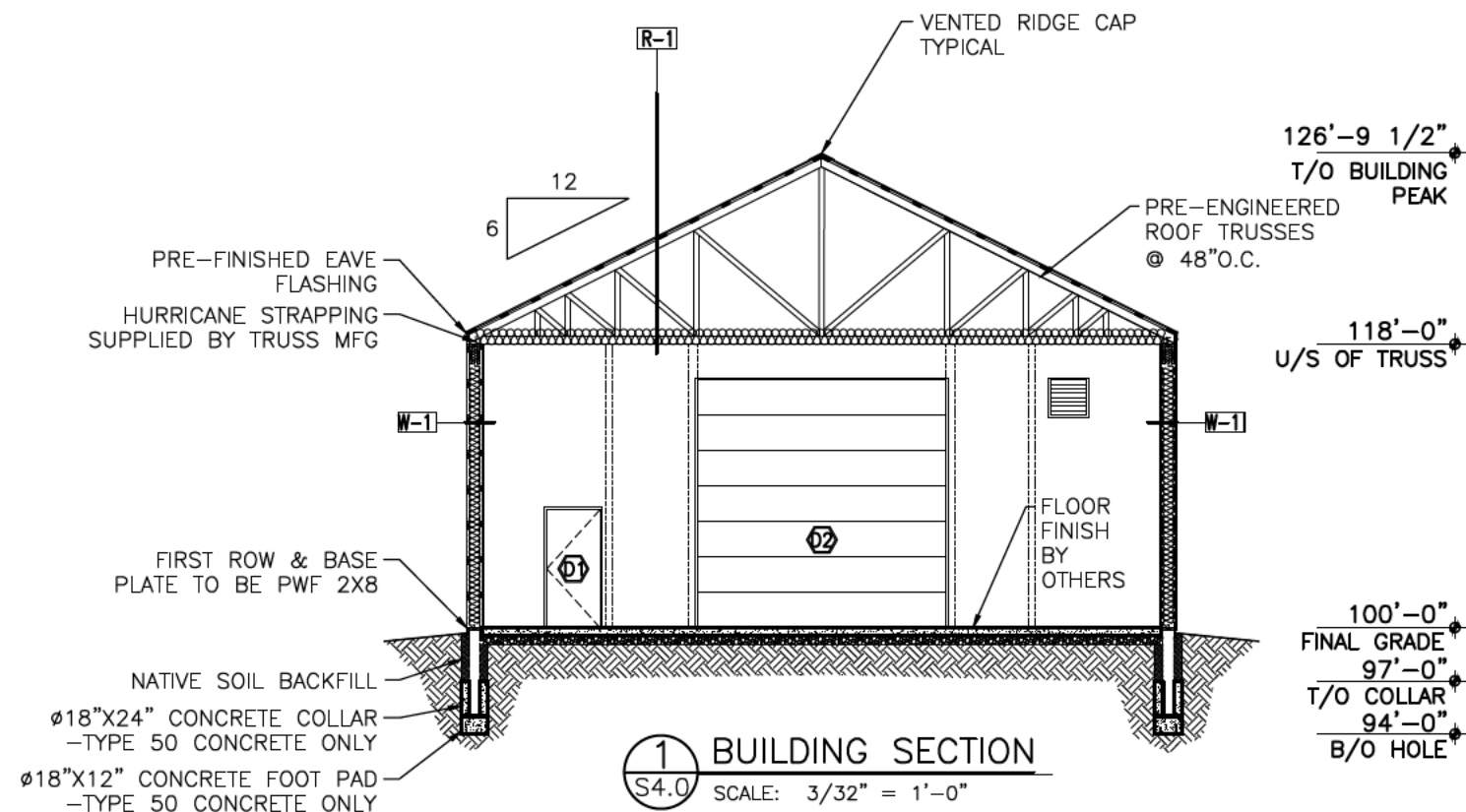
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PROJECT 2677086 ALBERTA INC
LAND DESCRIP. 2579 TOWNSHIP RD 274 IRRICANA, AB.
DWG NO. S.3.1 EXTERIOR ELEVATIONS



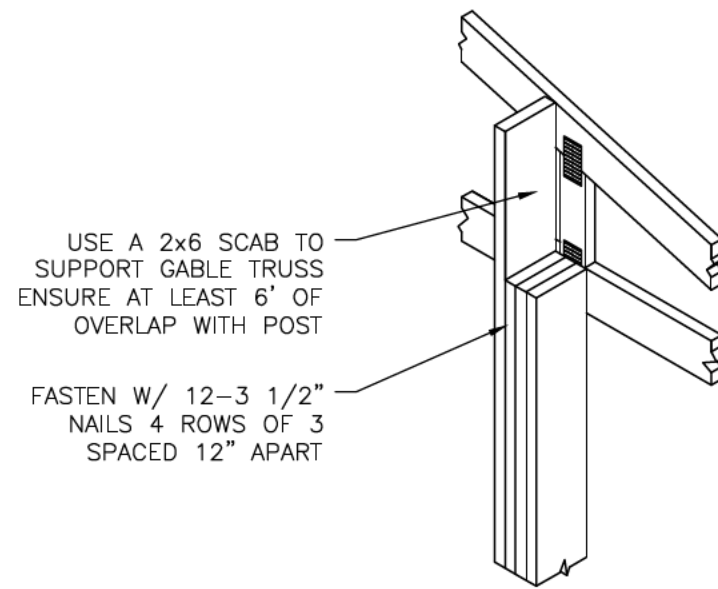


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PROJECT 2677086 ALBERTA INC
LAND DESCRIP. 2579 TOWNSHIP RD 274 IRRICANA, AB.
DWG NO. S.4.0 BUILDING SECTIONS



1 GABLE GUSSET DETAIL  
S.5.0 SCALE: NTS

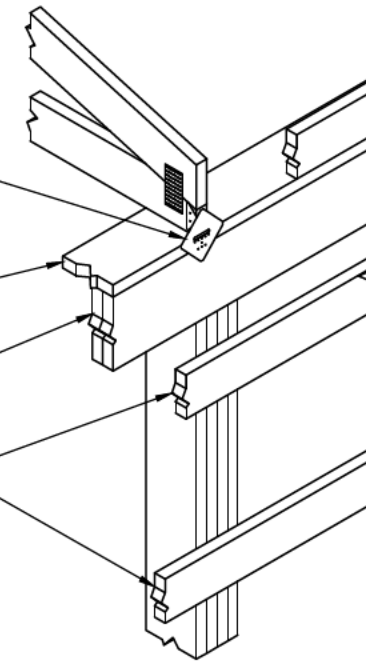
NOTE:  
10d 1 1/2" LONG, 9GA. (0.148" DIA.)  
16d SINKER NAILS CAN BE  
SUBSTITUTED FOR 10d COMMON NAILS  
WITH NO REDUCTION IN LOAD

HURRICANE TRUSS STRAP  
USP CONNECTORS PART#RT15  
12-10d NAILS (6 TRUSS, 6 GIRDER)

2x8 TOP PLATE

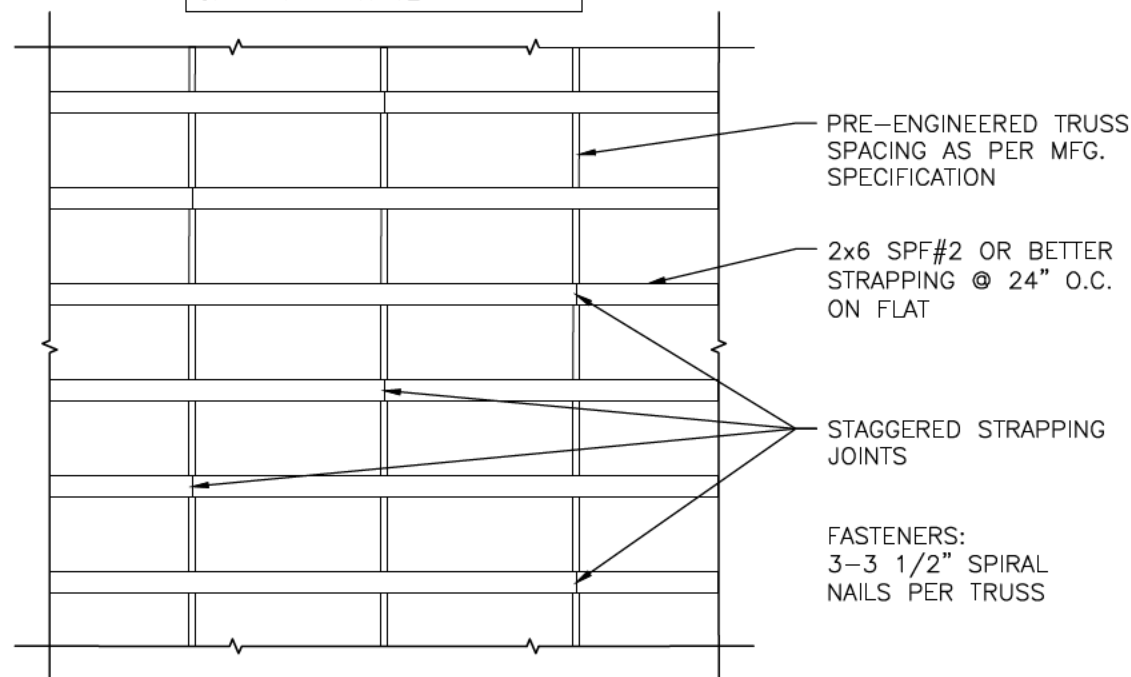
DOUBLE GIRDER 2x10  
OR 2x12 CUT INTO  
POST

EXTERIOR 2x6  
STRAPPING @ 24" O.C.



2 HURRICANE STRAP DETAIL  
S.5.0 SCALE: NTS

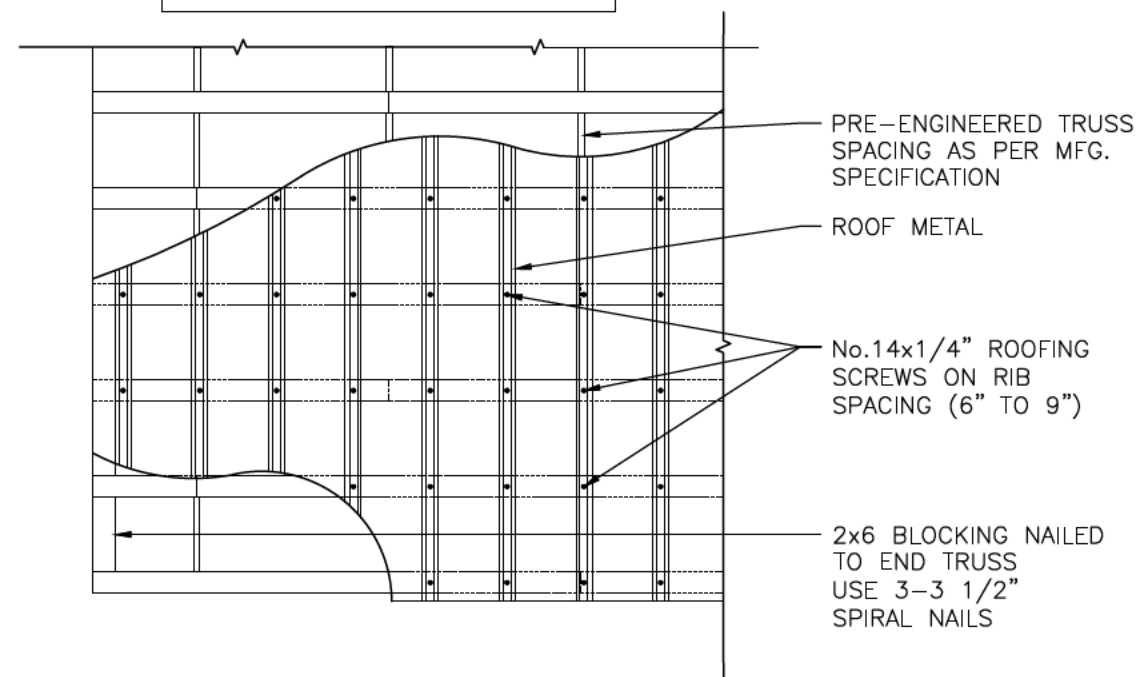
NOTE:  
USE MIN. STRAPPING LENGTHS  
GREATER THAN 12'



NOTE:  
THIS DETAIL IS SUPERCEDED BY  
TRUSS MFG. BARN DRAWINGS

3 TRUSS PURLIN DETAIL  
S.5.0 SCALE: NTS

NOTE:  
DO NOT SUBSTITUTE No.14x1  
1/4" WOOD SCREWS FOR STITCH  
SCREW APPLICATION



4 ROOF METAL DETAIL  
S.5.0 SCALE: NTS

ISSUED FOR CONSTRUCTION

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13171 2677086ALBERTA INC

REV  
A.2

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DATE (MM/DD/YY)  
06/04/2025

DRAWN

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ENGINEER

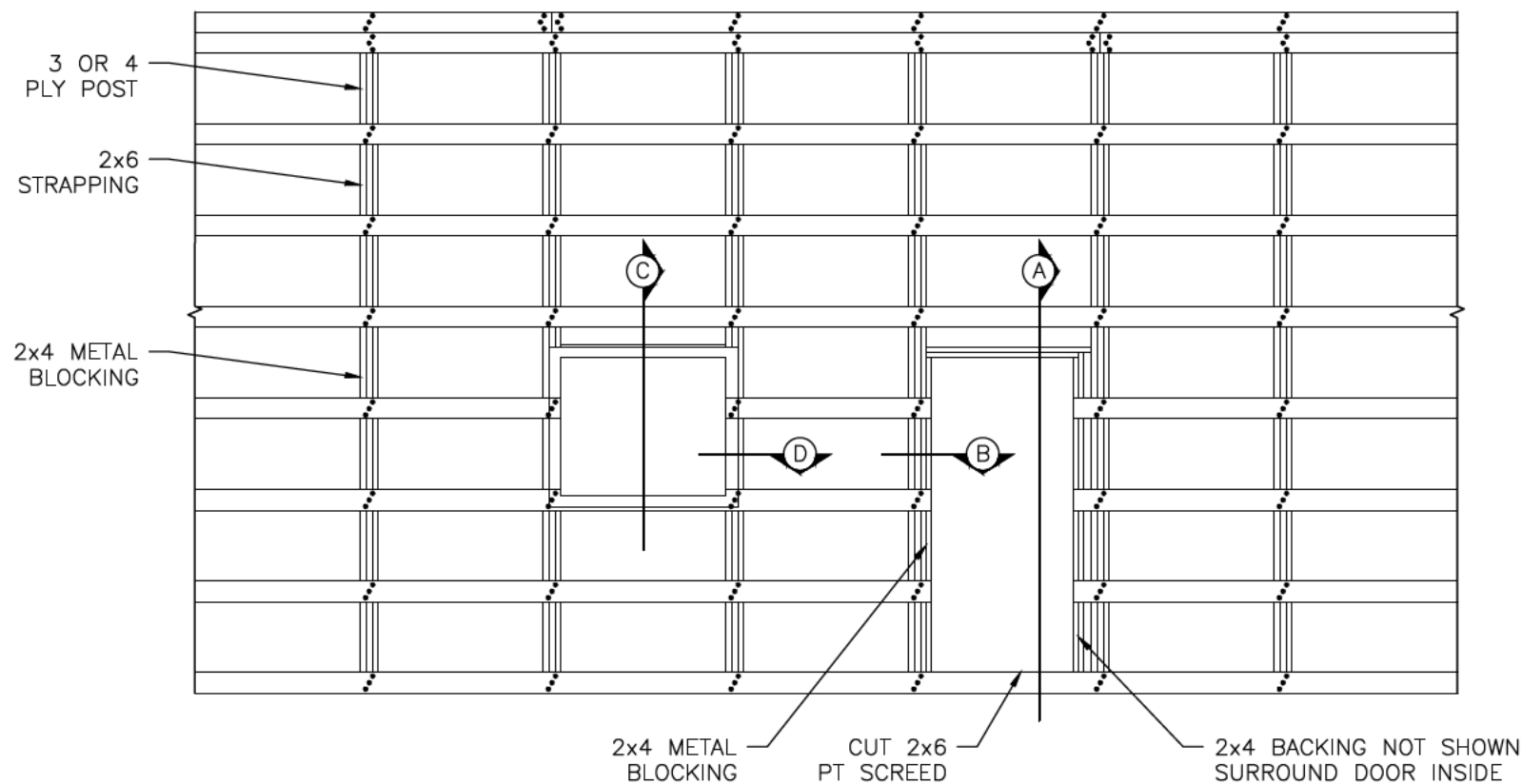
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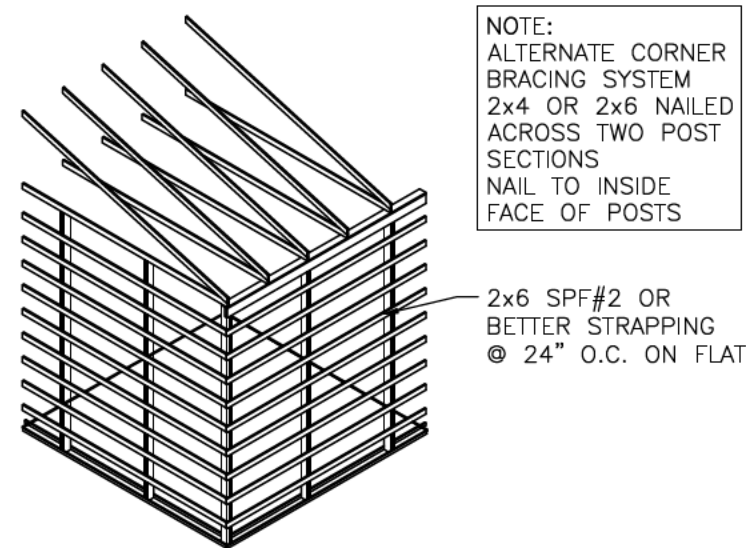
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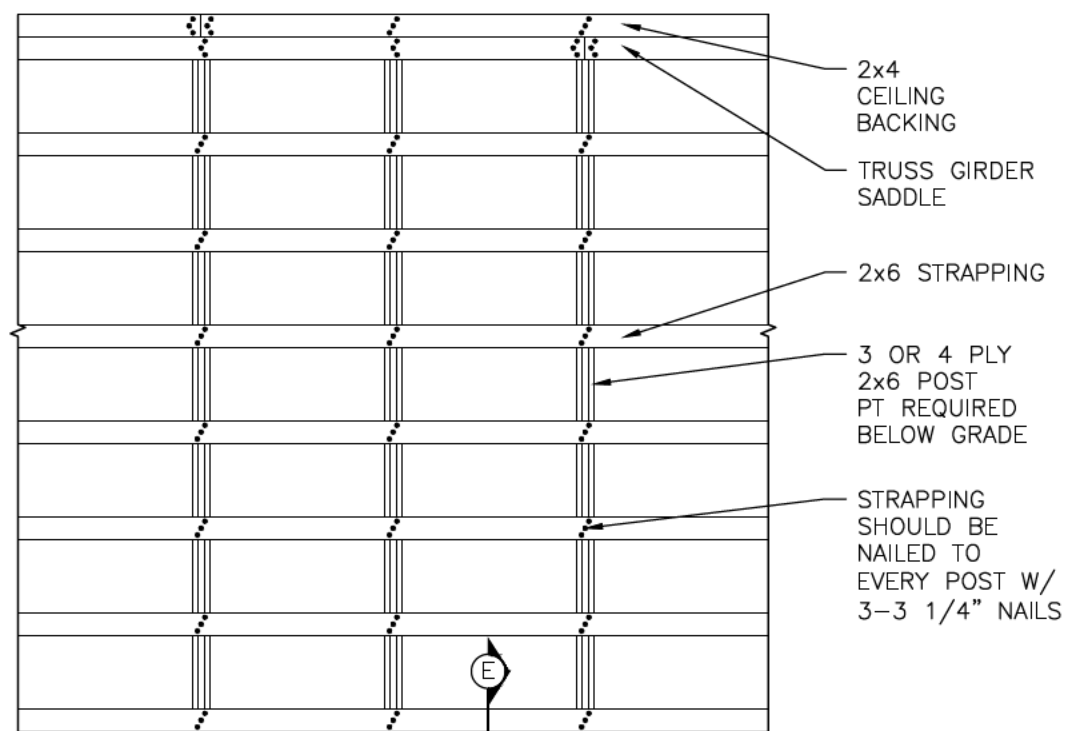
DWG NO.  
S.5.0 TYPICAL DETAILS



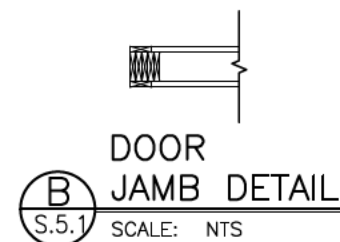
**1 WINDOW & DOOR DETAIL**  
S.5.1 SCALE: NTS



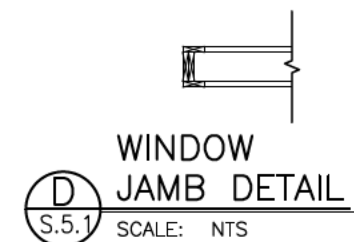
**2 CORNER BRACING DETAIL**  
S.5.1 SCALE: NTS



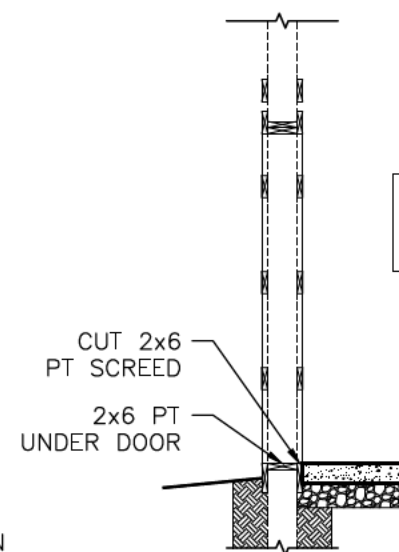
**3 WALL STRAPPING DETAIL**  
S.5.1 SCALE: NTS



**B DOOR JAMB DETAIL**  
S.5.1 SCALE: NTS

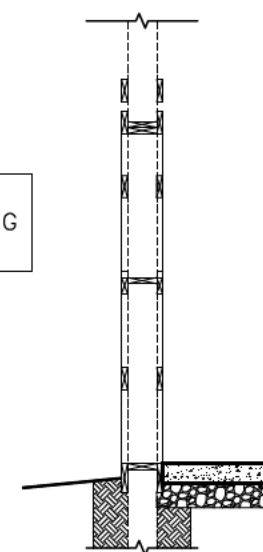


**D WINDOW JAMB DETAIL**  
S.5.1 SCALE: NTS

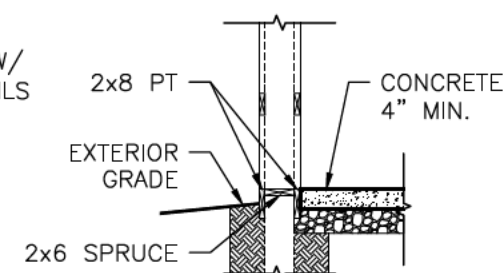


**A DOOR THRESHOLD DETAIL**  
S.5.1 SCALE: NTS

NOTE:  
INTERIOR STRAPPING  
OPTIONAL



**C WINDOW FRAMING DETAIL**  
S.5.1 SCALE: NTS



**E THRESHOLD DETAIL**  
S.5.1 SCALE: NTS

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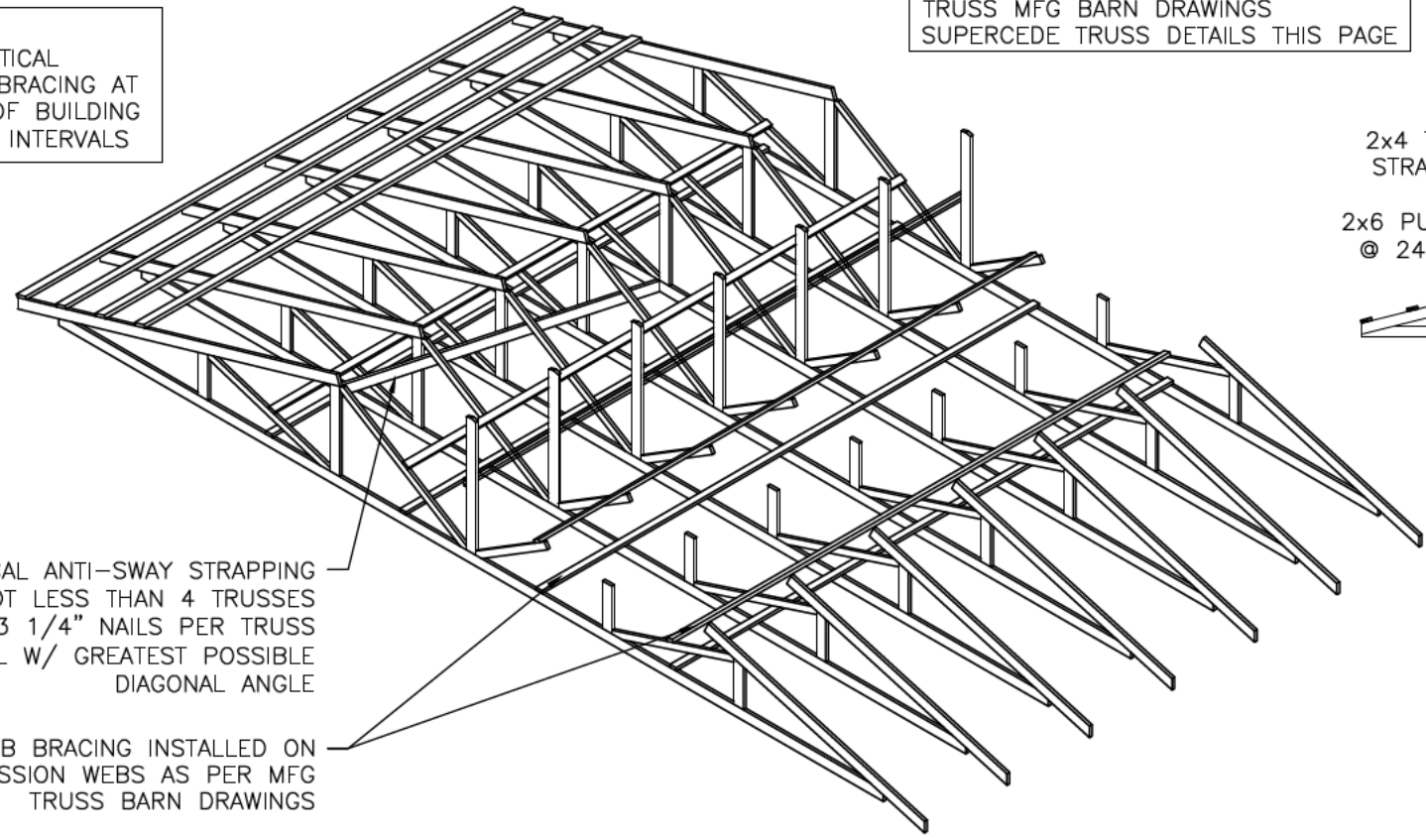
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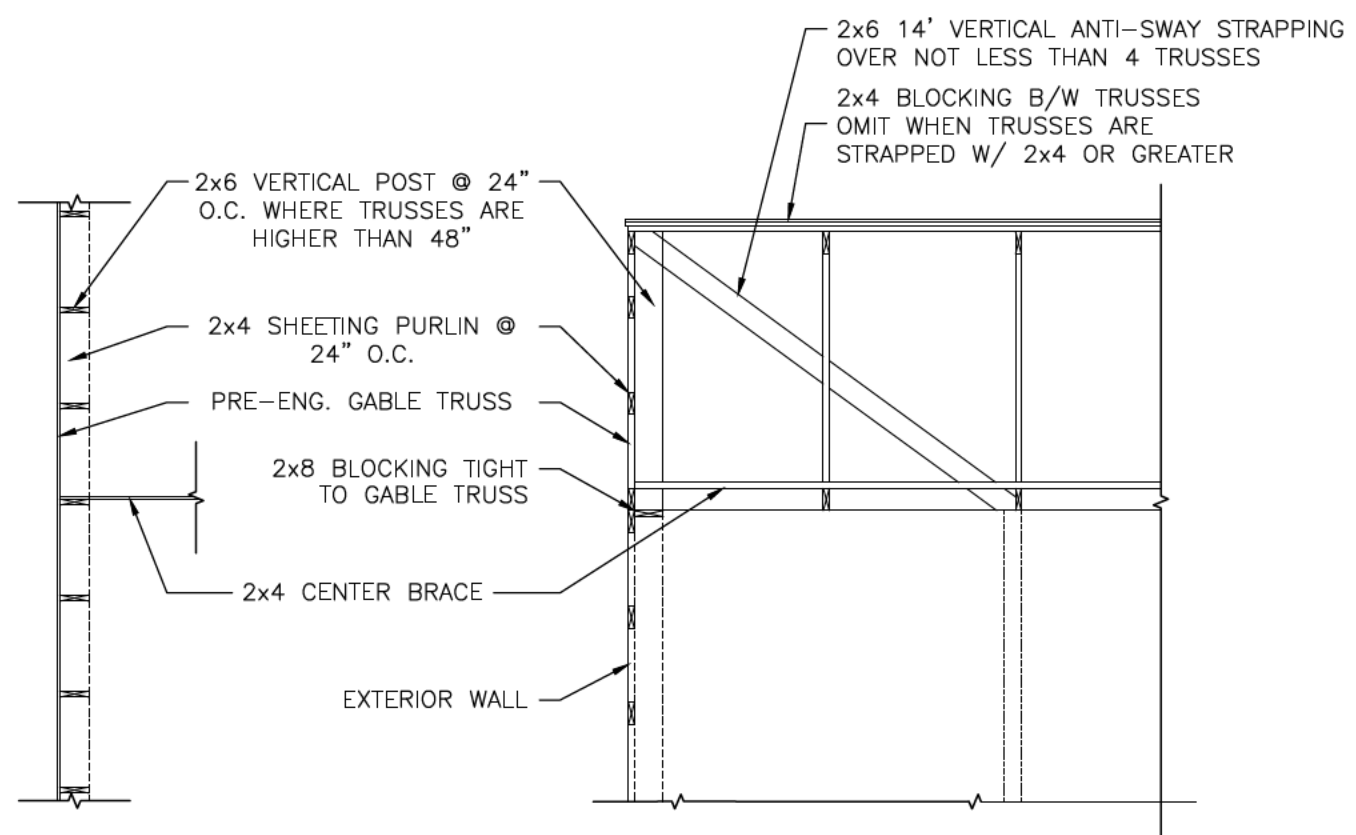
DWG NO.  
S.5.1 TYPICAL DETAILS

NOTE:  
INSTALL VERTICAL  
ANTI-SWAY BRACING AT  
EACH END OF BUILDING  
AND AT 50' INTERVALS

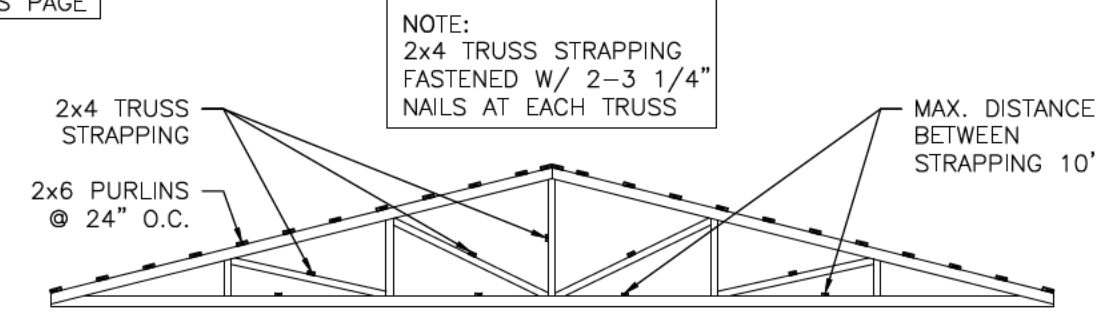
NOTE:  
TRUSS MFG BARN DRAWINGS  
SUPERCEDE TRUSS DETAILS THIS PAGE



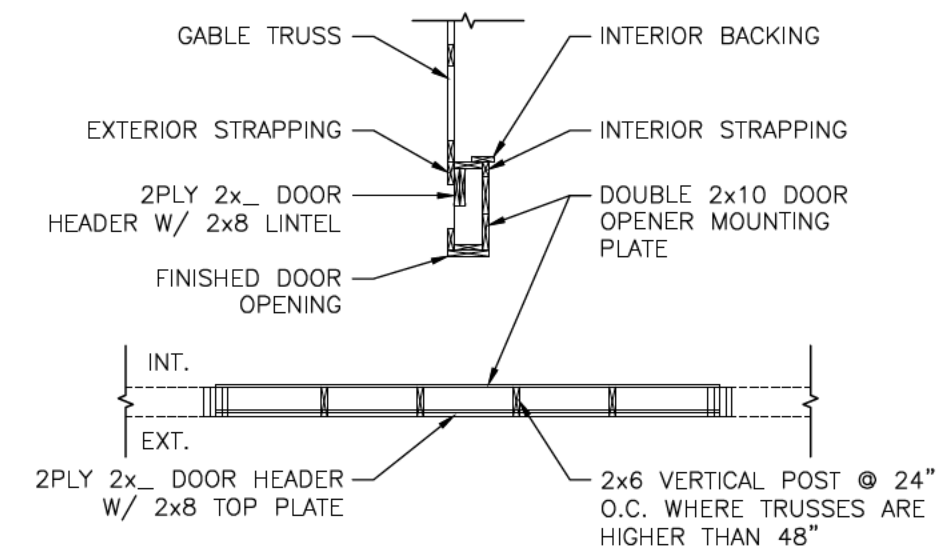
1 VERTICAL SWAY BRACING & ANCHOR BRACING DETAIL  
S.5.2 SCALE: NTS



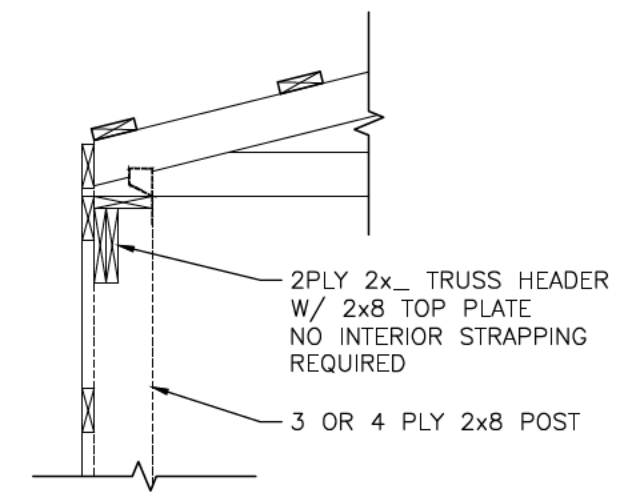
2 ROOF GABLE BRACING DETAIL  
S.5.2 SCALE: NTS



3 TRUSS BRACING DETAIL  
S.5.2 SCALE: NTS



4 OVERHEAD DOOR GABLE HEADER DETAIL  
S.5.2 SCALE: NTS



5 TRUSS HEADER DETAIL  
S.5.2 SCALE: NTS

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S.5.2 TYPICAL DETAILS





if it flows,  
we go with it

1.800.665.4499  
barrplastics.com

# Heated & Insulated Sewage Tanks

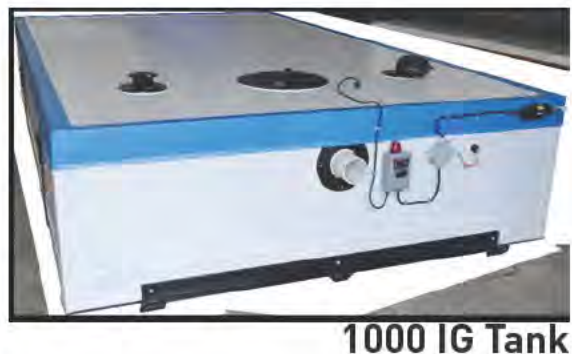
## 1000 Imp. Gallon Sewage Holding Tank

BARR PLASTICS Inc. introduces its new line of HIHT Low Profile, Heated & Insulated Sewage & Water Holding Tanks for Above Ground Use in 2 standard capacities - true 1000 and 2000 Imp. Gallon sizes (Custom sizes available).

Tanks feature reinforced steel edges all around - hidden by an attractive steel clad and painted, exterior surface and a heavy duty internal, structurally ribbed, fully enclosed, one-piece corrosion resistant plastic tank with vertical support columns making them very durable and resistant to impact on all sides and damage from top loading - beware of lower cost or cheaper products that have no internal structure or minimal strength.

Specially made and designed for cold weather climates with internal, reliable and trouble-free heating system and insulation available in a variety of thicknesses and R values. These tanks can be fitted with level alarms, pumps and pump control devices and a wide variety of other features and accessories to fit your specific application. Sized for efficient shipping - stackable 4 high.

Call BARR Plastics' Custom Fabrication Division today at 1-800-665-4499 to speak to one of our sales and technical staff about your specific requirements. See next page for standard product specifications.





if it flows,  
we go with it

1.800.665.4499  
barrplastics.com

# Heated & Insulated Sewage Tanks

## Model HIHT1000S - Standard Specifications 1000 IG Sewage Holding Tank - Cont'd

**Finished Dimensions:** 95" wide (2415mm) x 166" long (4220mm) x 31" high (790mm)

**Approx. Weight:** Empty: 900 lbs. (410 kgs) Full: 9900 lbs. (4500 kgs)

**Tank Capacity & Construction:** Imperial Gallons - 1000 Litres: 4550  
Construction: A key and quality feature of BARR Heated, Insulated Tank Systems compared to others is that the Inner Tank is a fully enclosed (minimum ½" thick), corrugated HD structural plastic vessel (with internal support columns) made from FDA and NSF approved, virgin HDPE (polyethylene) resin suitable for both potable water and wastewater. Tanks meet CSA and NSF requirements for sewage and potable water holding applications.

**Inlet:** Standard is a 4" (100mm) IPS Pipe Size (ie: ABS & Sched.40 pipe size) PVC pipe stub inlet extending out from end wall of tank approx. 6". Connect to Inlet with a PVC Sch.40 coupler, adapter or a rubber flex coupler. Inlet can be placed in a variety of locations as an option - ie: Top surface or any side wall and can be a 3" or 4" FPT fitting.

**Pump-Out Connection:** 3" (75mm) top surface FPT fitting w/ 3" drop tube to bottom of tank. Can be fitted w/ a 3" male camlock connection and also be plumbed out the end wall as an option if there is low height clearance above the tank.

**Vent:** Venting is normally done through the 4" inlet, but an additional vent fitting can be installed as an option.

**Lid Opening:** Standard Lid is 1 ea. 16" dia. screw lid with no vent that installs into a gasketed lid ring that is sealed to the top surface of the tank and also seals to the lid when tight to limit sewage gas leakage. 20" and 24" lid openings available as an option. Can have 2 or more lids if required.





# Heated & Insulated Sewage Tanks

## Model HIHT1000S - Standard Specifications 1000 IG Sewage Holding Tank - Cont'd.

<b>Lifting &amp; Handling:</b>	The underside of the tank is fitted securely with a light duty steel skid that can be used to slide tank along level surfaces for short distances on slippery surfaces. Tanks can be moved with forklift carefully or by crane lift using the 4 lifting eyes located on the sidewalls of the tank. Tanks must be fully emptied before moving or lifting. Tanks are stackable 4 high when empty for efficient shipping, but should have dunnage placed between tanks at both ends and center with layers of cardboard or other protective material placed under the dunnage to protect exterior cladding and trim.
<b>Placement:</b>	Tank must be placed on a solid level surface when in use and may be placed outdoor or indoor and have been proven and tested in -35 C.
<b>Heating, Insulation, Exterior Cladding &amp; Internal Structure:</b>	<p><b>HEATING:</b> 100' of 8 watt/foot, 120V, self-regulating heating cable is placed and secured in a continuous loop on the underside of the inner polyethylene Tank and is fitted with a ground fault protector and standard 120 V plug.</p> <p><b>INSULATION:</b> Is provided by the 2" thick structural, insulated panels that surround the inner Tank. EPS foam board insulation is sandwiched between and bonded to 2 layers of 26 gauge pre-painted metal cladding. EPS foam board contains no CFC's or HCFC's, is recyclable, moisture resistant and will not lose it's insulation R value over years. Using EPS as the core insulation, contributes to the "green" building ideal. Use of EPS insulation products can provide USGBC LEED-NC v2.2 credits, including Sustainable Sites, Energy &amp; Atmosphere and Materials &amp; Resources. R Value of exterior cladding and insulation as installed is approx. 12. Greater R-values available with thicker Insulated Panels.</p>

# Heated & Insulated Sewage Tanks

## Model HIHT1000S - Standard Specifications 1000 IG Sewage Holding Tank - Cont'd

### Heating, Insulation, Exterior Cladding & Internal Structure:

EXTERIOR CLADDING & INTERNAL STRUCTURE: 26 gauge prepainted metal cladding with slight and attractive corrugations with 90 degree pre-painted metal flashing securely fastened to all edges. All seams and joints are neatly finished and fully sealed with a polyurethane sealant to keep out moisture and cold air flow to improve insulating capacity and heat retention.

Standard exterior colour is off-white and a variety of trim colours are available to match customer's colour scheme or brand. In addition to the structure provided by the HD poly tank with internal support columns and corrugated walls, the steel base skid and the structural insulated exterior panels, steel angle iron framing is installed under the edge trim all around the top & bottom edges and 4 vertical corners and welded to the base skid to provide additional structural strength and durability against impact or improper side-pulls that destroy other similar looking tank products. BARR Tanks are made to last in rugged environments.

### High Level Alarm:

An exterior, quality SJE Rhombus TAEZ-01X alarm box is installed on end of tank near an access lid, connected to an internal sensor float switch that is set to activate alarm (light and audible) when tank is approx. 75% full to allow time for continued use before pump-out truck arrives.

### Options:

A variety of optional features and accessories can be installed or provided such as pump systems, control panels, additional below ground wastewater treatment tanks and septic system components, thicker insulation, additional heating cable, colours, fittings, valves & connectors, skid types, tank capacities to 2100 Imperial Gallons (9500 L), etc.



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**Item G1**

Attachment 'B' – Supplemental Materials

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# ECO FIBER TECH COMPANY PROFILE

Reshaping the Future of  
Sustainable Construction

263045 Township Road 274  
Irricana, AB T0M 1B0 Canada

2025-2026  
[www.ecofibertech.ca](http://www.ecofibertech.ca)



# PRESIDENT STATEMENT



**Aref Najafi, PhD, PEng, PMP**

PRESIDENT OF THE COMPANY

*At Eco Fiber Tech, we are committed to transforming the construction industry by producing innovative composite materials. As President, I take pride in leading a team that focuses on delivering high-performance, corrosion-resistant, and environmentally sustainable construction materials. Sustainability lies at the heart of our mission. Unlike traditional construction materials, our products have a significantly lower carbon footprint while providing longer-lasting structures with minimal environmental impact. We continuously invest in research and development to advance material science and work towards achieving net-zero construction.*



# TABLE OF CONTENTS

1

About Company

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Vision & Mission

3

Our Products

4

Our Creative Team

5

Get In Touch



## **ABOUT COMPANY**

Our company, Eco Fiber Tech, specializes in manufacturing high-performance composite rebar using advanced production techniques. We aim to address the limitations of traditional steel rebar, such as corrosion and weight, by providing innovative solutions that enhance the durability and sustainability of construction projects. This will become more critical since the export tariffs will affect the steel industry, and the Canadian construction industry will need more reliable and cost-effective products for their business.



# VISION & MISSION



## Vision

Our vision is to be the global leader in composite construction materials, setting new standards in strength, sustainability, and smart engineering. By pioneering cutting-edge technologies and fostering industry collaboration, we aim to transform the future of construction — making it greener, safer, and more efficient for generations to come.

Core Values:

- Innovation – Leading with advanced material science
- Sustainability – Reducing carbon footprint and waste
- Quality – Delivering unmatched durability and performance
- Integrity – Building trust through transparency and reliability
- Collaboration – Partnering for smarter, stronger infrastructure



## Mission

At Eco Fiber Tech, our mission is to revolutionize the construction industry by producing high-performance, sustainable composite materials that enhance durability, reduce environmental impact, and lower lifecycle costs. Through continuous innovation and advanced engineering, we provide reliable, corrosion-resistant alternatives to traditional construction materials, empowering builders to create stronger, longer-lasting, and eco-friendly infrastructure.





## OUR PRODUCTS

### Product

The company proudly introduces its flagship product: a cutting-edge fiber-reinforced polymer (FRP) rebar that combines strength with lightweight durability. Following the successful launch of this innovative rebar, the company is poised to expand its horizons. Within the next year, it will unveil an exciting new production line dedicated to a diverse range of composite profile materials. This upcoming line will feature an array of products, including elegant deck boarding, stylish wall cladding, and versatile wall panels, all designed to enhance both aesthetics and functionality in modern construction.

*The Fiber Reinforced Polymer (FRP) rebar market in North America is experiencing significant growth. In 2023, the FRP rebar market size was estimated to be around \$1.50 billion. The market is projected to grow at a compound annual growth rate (CAGR) of 6.2% from 2023 to 2033. This growth is driven by the increasing adoption of FRP materials in construction, especially for structures requiring high durability and lower maintenance costs.*

*The U.S. market, in particular, is benefiting from the rising demand for durable, lightweight, and corrosion-resistant materials in construction. FRP rebars are increasingly being used in infrastructure projects, such as bridges, highways, and marine structures, where they offer improved performance and longevity compared to traditional steel rebars.*



# OUR CREATIVE TEAM



**Aref Najafi**

PRESIDENT

Aref Najafi, PhD, PEng, EP, CEM, PMP, is a thought leader in areas of decarbonization. He has more than twenty years of experience in the oil and gas industry. Aref has a wide range of experience in operation and major project development. He has been a part of multi-billion-dollar oil sands projects as process engineering lead for concept selection, design, and construction phase.



**Fardin Seyyednajafi**

CHIEF OPERATION OFFICER

Fardin Seyed Najafi is a seasoned professional with over 30 years of extensive experience in the petrochemical industry. Armed with a Bachelor's degree in Chemical Engineering and a Master's degree in Business Administration (MBA), he has demonstrated expertise in various phases of engineering and construction, start-up operations, research and development.



**Dr. Sabina Isgandarova**

CHIEF SUSTAINABILITY OFFICER

Dr. Isgandarova brings 25 years of the combined experience in R&D, program development, environmental management, and sustainable resources development. Over the course of her career, Dr. Isgandarova had received multiple recognitions for her research and innovation ideas, including fellowships from Alberta Innovates Health Solutions (AHFMR), Max-Planck Society and the Merck-Frosst Research Award.

Dr. Isgandarova owns and operates a consulting firm, which focuses on environmental and sustainability education.



## GET IN TOUCH



1-403-466-0305



[info@ecofibertech.ca](mailto:info@ecofibertech.ca)

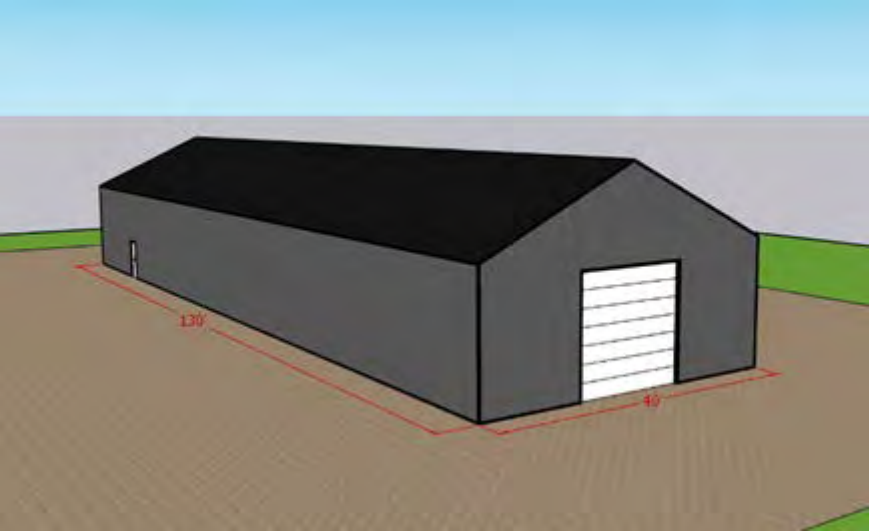


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WATER

719-200

TOMICHILBROS





