
Council Chambers, Irricana Centennial Centre, 222 2 Street

Date: December 9, 2024 **Time:** 6:30PM

A. ATTENDANCE

B. CALL TO ORDER

C. AGENDA

D. MINUTES

Item D1: Minutes from September 4, 2024 MPC Meeting

E. CORRESPONDENCE FROM PREVIOUS MEETING

F. OLD BUSINESS

G. NEW BUSINESS

Item G1: D2024-011 Home-Based Business, Automotive (Newstead)

H. ADJOURN

Item D1

Minutes from September 3, 2024 MPC Meeting

MUNICIPAL PLANNING COMMISSION

Council Chambers, Irricana Centennial Centre, 222 2 Street

Date: September 3, 2024 Time: 6:15 PM

A. ATTENDANCE

Members:

Mayor: Jim Bryson, Chair
Deputy Mayor: Julie Sim
Councillor: Nathaniel Fleming

Support Staff:

CAO: Doug Hafichuk
Staff: Patty Malthouse

B. CALL TO ORDER

(i) The meeting was called to order by Mayor Bryson at 6:20 pm.

C. AGENDA

(i) Item C1: Adopt Agenda

Moved by Member Sim to adopt the Agenda, as presented.
CARRIED

D. MINUTES

(i) Item D1: Minutes from January 29, 2024 MPC Meeting

Moved by Member Fleming to accept the Minutes from the
April 15, 2024 MPC Meeting, as presented.
CARRIED

E. CORRESPONDENCE FROM PREVIOUS MEETING

F. OLD BUSINESS

G. NEW BUSINESS

- (i) Item G1: Development Application D2024:012 (BGC Irricana)

Moved by Chairperson Bryson that Development Application D2024:012 be approved, subject to the recommended conditions, as amended.
CARRIED

- (ii) Item G2: Development Application D2024:009 (Hiscock)

Moved by Member Sim that Development Application D2024:009 be approved, subject to the recommended conditions.
CARRIED

H. ADJOURN

- (i) Adjournment

Moved by Mayor Bryson to adjourn the meeting at 6:43pm.
CARRIED

Jim Bryson
Chairperson

Doug Hafichuk
Chief Administrative Officer

To: Chair and Commission Members
From: Development Officer
Date: September 3, 2024
Purpose: Home Based Business, Automotive Services
Subject: D2024:011 (Newstead)

Summary:

Development Application D2024:011 seeks approval by the Municipal Planning Commission for a Home-Based Business to provide mobile and limited onsite automotive diagnostic, maintenance, and repair services. The application may be considered under the Similar Use Provision of the Irricana Land Use Bylaw.

Background and Discussion:

Purpose

The purpose of this report is to provide the Municipal Planning Commission (MPC) with an analysis of Development Permit Application D2024:011. The application proposes operating a home-based/mobile automotive services business within the R-2 (Residential Two Dwelling Restricted) District of the Town of Irricana. This report evaluates the application against the provisions of Land Use Bylaw 007:2023 and provides relevant considerations for decision-making.

Application Details

- Applicant Name: *Newstead, Nick and Ashley*
- Property Address: *339 – 3 Street, Irricana, AB*
- Land Use District: *R-2 (Residential Two Dwelling Restricted District)*
- Proposed Use: *Home-based/mobile automotive services, including vehicle diagnostics, maintenance, and repair with services provided off-site or within an existing accessory building (garage).*

Land Use Bylaw, Generally

Permitted / Discretionary Use

Automotive services are not explicitly allowed in the R-2 District under the current Land Use Bylaw. However, the MPC may consider the application under the Similar Use Provision (Section 1.5.1), which allows for uses that are similar in character and purpose to discretionary uses permitted in the district.

Home Occupation Standards (Sections 5.4 and 7.4)

The proposed use partially aligns with the definitions of Home Occupation 2 or Home Occupation 3, particularly for low-volume activities like automotive diagnostics or minor maintenance.

Both categories emphasize minimizing disruptions to the residential character of the neighborhood and avoiding nuisances, with Home Occupation 3 specifically considering outdoor storage. Further, complying with Total Floor Area requirements of Home Occupation 2 will pose significant challenges, with those issues being addressed by a Home Occupation 3 designation.

In conclusion, the application should be evaluated using the Similar Use Provision as Home Occupation 3.

Compliance History at Subject Property

The Applicant has proposed that onsite business activity will occur in an existing accessory building (i.e., Garage). A Development Permit (D2022:006) was issued for the accessory building in September 2022 and the building was successfully erected in the fall of 2022.

In December 2022, the Town addressed an unauthorized automotive services business operating at the subject property. While this activity was not permitted, the current application demonstrates the applicant's intent to seek planning approval before engaging in further business operations. This proactive approach is noted as a positive step toward maintaining compliance with the Land Use Bylaw.

The property also features a Tiny Home, classified as an accessory building, for which no Development Permit has been issued. The property should be brought into compliance prior to any activity being permitted, as a separate matter. An accessory building used as a secondary suite is permissible as a discretionary use in an R2 District and its foreseeable that the current non-compliance can be satisfactorily addressed through the development process.

Public Notification and Feedback

To ensure transparency and community engagement, the application was advertised on the Town of Irricana website from October 28, 2024, to December 9, 2024.

Further, given the discretionary nature of the proposed activities and the potential for impacts to adjacent property owners, letters were sent to 59 property owners within ~100 meters of the subject location.

Five responses were received, focusing primarily on:

- Traffic and Parking: Potential for increased traffic or inadequate onsite parking.
- Noise and Nuisances: Potential disruptions from onsite vehicle diagnostics or repairs.
- Environmental Safety: Safe storage and disposal of hazardous or environmentally impactful materials.
- Aesthetic Impact: Concerns about outdoor storage affecting the residential character.

These concerns are understandable and align with the objectives of the Land Use Bylaw to maintain residential integrity. Further, anecdotal concerns about non-compliances have been raised, although the Town of Irricana has not received any formal complaints or observed non-compliances beyond those already discussed in the report.

The Development Officer believes that concerns raised through public feedback can be mitigated through appropriate conditions of approval, and that the Applicant is amenable to addressing concerns from the public.

Analysis

Compliance with Land Use District Objectives

While automotive services are not explicitly allowed, the Similar Use Provision allows MPC discretion to evaluate compatibility with R-2 District objectives. The low-volume nature of the proposed business and its focus on off-site services reduce its potential impact on the residential character.

Traffic and Parking Considerations

The application indicates minimal onsite client activity and low-volume onsite operations of this nature are unlikely to generate traffic beyond what is typical for the area.

Nevertheless, the Applicant should demonstrate that adequate parking exists for personal and business-related vehicles. Further, an onsite parking plan should demonstrate how, if necessary, screening is to be provided to minimize aesthetic concerns.

Noise and Nuisance Control

The nature of the proposed activities creates the potential for noise and nuisances that could detract from the residential character of the location and unduly impact adjacent properties. Noise and nuisances of note include:

- Operational Noise from Automotive Activities

Diagnostics, minor repairs, or maintenance activities (e.g., use of tools, air compressors, or engine testing) may generate noise that could disturb nearby residents. Sound levels from activities conducted in garages or accessory buildings can carry through open doors or thin walls.

Noise from vehicles arriving, departing, or idling for extended periods is foreseeable, with noise during early morning or late evening hours being of particular concern.

- Odors and Emissions

Automotive maintenance or repairs may produce fumes or odors (e.g., from fuel, cleaning products, or exhaust). These odors could affect neighboring properties, especially during prolonged or repeated activities.

Conditions restricting outdoor work and limiting operational hours can mitigate these concerns, as can requiring enhanced ventilation in workspaces.

Materials and Environmental Safety

Hazardous materials and equipment should be securely stored indoors to prevent environmental impacts or neighborhood aesthetic disruptions. As a condition of approval, the Applicant should provide a detailed description of the materials that are commonly stored onsite, how they are stored, and how fire and environmental safety issues (e.g., A chemical spill) will be addressed.

Whereas automotive work in a residential district is commonplace, the increased frequency of those activities creates a meaningful risk of long-term site / soil contamination. These risks are commonly accepted in commercial and industrial locations, however, that the enhanced risk occurs in a residential neighbourhood should weigh heavily in decision-making as they could impact future use or redevelopment of the land (i.e., Land sterilization).

Further, local Fire Services should review the site for hazards and impose any restrictions or conditions they deem necessary to maintain public safety. For example, it may be necessary to insist that chemicals be stored in an anchored fire-safe cabinet with drip trays.

Aesthetic Impacts

Using screening to minimize visual impacts can help ensure the proposed business maintains the aesthetic character of the residential neighborhood. Of particular note:

- **Concealment of Business-Related Activities**
Screening can hide tools, equipment, vehicles, or other business-related materials that are temporarily stored outdoors. Generally, business activities are expected to be conducted within the accessory building.
- **Preservation of Residential Character**
By visually separating business activities from neighboring properties, screening helps maintain the appearance of a purely residential area. The subject property abuts two roadways; however, the accessory building is not prominent from either roadway.
- **Reduction of Light Pollution**
Adequate fencing or plantings can block headlights from vehicles leaving the property. Further, considering the style, location, and direction light fixtures minimizes the potential for light pollution to impact adjacent properties.

Conclusion

Development Permit Application D2024:011 seeks approval for a discretionary use that is not explicitly permitted but may align with the R-2 District objectives under the Similar Use Provision.

MPC should weigh public concerns, previous non-compliance, and the applicant's willingness to comply with conditions in determining whether the application aligns with the Town's Land Use Bylaw and objectives.

Circulation and Comment:

The application was advertised on the Town of Irricana website from October 28, 2024, to December 9, 2024. Further, letters were issued to 59 property owners within ~100 meters of the subject location seeking feedback.

Recommendation:

The Development Officer recommends that D2024:011 be approved with the conditions listed (below). Unless otherwise specified, conditions shall be managed administratively and are subject to the satisfaction of the Development Officer.

Although a permanent approval may be granted, MPC may opt to consider a Temporary Development Permit (Up to one year) in accordance with Section 5.4.4 of the Land Use Bylaw as an interim step.

Should MPC determine the application is unsuitable, clear reasons for refusal should be provided, such as citing incompatibility with the R-2 District or inability to address public concerns effectively.

Recommended Conditions of Approval

1. The subject property shall be brought into compliance with the Land Use Bylaw prior to the commencement of business activity.
2. The Applicant shall obtain AMVIC licensing prior to the commencement of business activity.
3. All onsite business activities, including diagnostics and minor maintenance, must occur indoors within the existing accessory building (Garage).
4. Hours of operation shall be limited to 8:00am to 8:00pm (Monday to Friday) and 9:00am to 5:00pm (Saturday, Sunday, and Holidays). Should this condition conflict with other local ordinances, current or future, those ordinances shall prevail.
5. No long-term outdoor storage of vehicles, equipment, or supplies is permitted. Temporary storage not lasting more than 24-hours in a 72-hour period is permitted.
6. Business operations must not result in noise, odors, or nuisances beyond the property boundaries (in compliance with Section 5.4.5 of the Land Use Bylaw). Outdoor idling of business-related vehicles is prohibited.
7. Onsite work is restricted to light-duty and medium-duty vehicles. Heavy-duty vehicles, heavy equipment, mobile equipment, and recreational vehicles are prohibited.
8. The Applicant shall provide and maintain a list of commonly stored materials which are hazardous, flammable, or pose an environmental risk. The list shall be provided to the development authority or local emergency services, upon request.

All goods and materials must be stored and disposed of in accordance with applicable municipal, provincial, and federal regulations.

9. The Applicant shall provide an onsite hazard response plan which, at a minimum, identifies health, safety, and environmental risks and a response plan associated with those risks (e.g., Chemical spills, containment, and remediation). The Development Authority may, at its discretion, require soil / environmental testing at the Applicant's expense.
10. Onsite parking must accommodate all business-related vehicles without encroaching on public roads. A parking plan shall be provided to show how non-residential vehicles are to be managed on the property.
11. The Development Authority may, at its discretion, require improvements to the accessory building to ensure safety and nuisance control. This may include, but is not limited to, ventilation / exhaust control and spill containment.
12. The Applicant shall arrange for a fire safety inspection and conform to all requirements, as specified, prior to the commencement of business activity.

Recommendation Motion(s):

Option #1:

Motion #1: **THAT** Development Application D2024:011 be approved, subject to the recommended conditions.

Option #2:

Motion #1: **THAT** Development Application D2024:011 be temporarily approved, subject to the recommended conditions.

Motion #2: **THAT** the approval shall be valid for one-year from the date of the approval.

Option #3:

Motion #1: **THAT** Development Application D2024:011 be refused.

Option #4:

As determined by the Municipal Planning Commission.

Respectfully submitted,

"Doug Hafichuk"

Development Officer

ATTACHMENTS:

Attachment 'A' – D2024:011 Development Permit Application

Attachment 'B' – Circulation Letter (Template)

Attachment 'C' – Circulation Public Comments

Item G1

Attachment 'A' – D2024:011 Development Permit Application



DEVELOPMENT PERMIT APPLICATION

NEW DEVELOPMENT Land Use Bylaw 11:2010

Town of Irricana Phone: 403-935-4672
 Box 100 Fax: 403-935-4270
 Irricana, Alberta T0M 1B0 E-Mail: irricana@irricana.com

I/We hereby make application for a development permit under the provisions of the Land Use Bylaw in accordance with the plans and supporting information submitted herewith which form part of this application. It is understood that the Development Authority will not accept incomplete applications.

PERMIT NO. D2024.011 FEES: \$16000 RECEIPT NO. 20243577 (Aug 27/24)
 Property Owner on Title: Ashley Newstead

1. APPLICANT INFORMATION:

Name:	<u>Nicholas Newstead and Ashley Newstead</u>		
Mailing Address:	<u>PO Box 776, 339 3 St, Irricana AB T0M1B0</u>		
Phone:	[REDACTED]	Alternate:	[REDACTED]
Fax:	<u>N/A</u>	E-Mail:	[REDACTED]

2. REGISTERED OWNER INFORMATION: (if different from above)

Name:	<u>Ashley Newstead</u>		
Mailing Address:	<u>PO Box 776, 339 3 St, Irricana, AB T0M1B0</u>		
Phone:	[REDACTED]	Alternate:	[REDACTED]
Fax:	<u>N/A</u>	E-Mail:	[REDACTED]

3. LAND DESCRIPTOR:

Property Address:	<u>339 3 St, Irricana AB T0M1B0</u>		
Legal Description:	Plan: <u>5087 W</u>	Block: <u>12</u>	Lot: <u>21, 22, 23, 24</u>

4. PROPOSED USE:

Land Use District:	<u>Irricana</u>
Existing Use:	<u>Residential</u>
Proposed Use:	<u>Mixed Use; Residential & Business (Industrial)</u>
	<u>Lot 24 (Garage & Driveway) for industrial use (Automotive)</u>

5. ESTIMATED DATE OF:

Commencement:	<u>N/A; Already built proposed reuse</u>
Completion:	

Additional Info provided:

- Work performed out of existing Garage.
- Offering Mobile Service
- AMVIC pending Development Approval.

the applicant and authorized to act on behalf of the

Date: July 15, 2024

- Discussed w Applicant that Business License cannot be processed until the Development Permit Application has been reviewed/processed.

authorized to act on behalf of the registered owner, the Town of site inspection in connection with my application for the Municipal Government Act.

Date: July 15, 2024

of the Freedom of Information and Protection of Privacy Act, planning bylaws and activities. It is protected by the privacy Act. If you have any questions about the collection of information, please contact the Town of Irricana, AB, T0M 1B0, (403) 935-4672.

APPLICATION:

to facilitate a thorough evaluation and timely decision on your application, please provide the following information in the "applicant" column confirming that the information has been

provided. All information must be clear, legible and precise. Accurate and legible information is required. If any of the required information is not provided, your application will be considered incomplete. If you are found to be missing information you will be contacted and asked to provide the missing information.

Applicant	REQUIRED ITEMS-Two (2) copies of the following:	Office
	Site Plan drawn to scale showing:	
✓	- legal description of property boundaries with North arrow	
✓	- setbacks and yard dimensions	
✓	- the location of all buildings and structures in relation to the property lines	
✓	- dimensioned layout of parking, driveways, entrances, exits, roadways and sidewalks	
✓	- floor plans, elevations and exterior finish materials	
✓	- locations of services	
✓	- site drainage, finished lot grades, grades of roads, streets and sewers	
✓	- Commercial: location of garbage, loading, storage, outdoor display, fences, screening, retaining walls, landscaping, building operations and nature of business	
	- if applicable, cutting down of trees	
	- development impact assessment	
	Other:	

9. SITE REQUIREMENTS CALCULATION:

Area of Site:	Lot 24		
Area of all Buildings:	53.52 sq.m		
% Site Coverage of all buildings:	14.49%		
Area of Accessory Building:			
% Site Coverage of Accessory Building:			
Finished height of building(s):	12'-11"		
Parking spaces provided:	3		
Yard Setbacks:	FRONT: 0.13	BACK: 0.11	SIDE: .50 SIDE: 1.810

9. FIRE INSPECTIONS

Your development may require a fire inspection. The Notice of Decision will be forwarded to the local fire department for review and you will be contacted if an inspection is deemed appropriate. *AN.*

10. TIME LIMITS

DEVELOPMENT AUTHORIZED BY A DEVELOPMENT PERMIT MUST COMMENCE WITHIN TWELVE (12) MONTHS FROM THE DATE OF ITS ISSUE AND BE COMPLETED WITHIN TWENTY-FOUR (24) MONTHS OF THE ISSUE. *AN.*

11. BUILDING STANDARDS:

In addition to compliance of all provincial building codes, the following local by-laws pertain to construction in the Town of Irricana:

ANY DEVELOPER DISTURBING TOWN OF IRRICANA PROPERTY IS RESPONSIBLE FOR ITS RESTORATION. ALL PAVEMENT/CONCRETE MUST BE REPLACED. ALL BACKFILL MUST BE COMPACTED. *AN -*

Garbage and Refuse Disposal Bylaw #8:2003

4.11 (a) Building waste resulting from the construction, repair, decorating, clearing or grading of a building or premises;

- (i) The owner of any premises producing building waste shall provide and maintain on the premises in good condition, a sufficient number of waste receptacles or commercial containers, to store the building waste;
- (ii) Not allow his premises or adjacent premises to become untidy and unsightly because of accumulated building waste;
- (iii) Periodically deliver and dispose of all building waste to a disposal site at his own expense;
- (iv) Recapture any building waste which is blown off the premises and immediately place the same in a waste receptacle or commercial container. *AN*

Water Meters in New Construction and Relocated Buildings Bylaw #1:2002

a) Effective April 1, 2002 all water service connections for new construction and relocated buildings, residential or commercial, shall be connected to water meters as supplied by the Town upon paying a service connection fee outlined in Schedule "A". *AN*

Water Conservation Measures Bylaw #3:2000

Effective February 22, 2000 all Building Permits issued for new construction will be required to have water efficient plumbing fixtures which meet the following minimum requirements: *AN*

All flush type toilets must be either of the "ultra low-flush" type or fitted with water conservation devices to provide for a water usage not exceeding 1.6 US gallons or 6.05 litres per flush. *AN*

All shower heads must be rated not to exceed a flow of 2 US gallons or 7.57 litres per minute at a pressure of 75 pounds per square inch. In any area of the Village of Irricana where static water system pressures exceed 75 *AN*

For Office Use Only:

Property Address: _____
Permit No.: _____

PLANNING DOCUMENT REVIEW

- Alberta Land Use Framework Calgary Metropolitan Plan Municipal Sustainability Plan
- Municipal Development Plan Land Use Bylaw

The proposed development is located within a _____ District.

The proposed development is listed as:

- Permitted Discretionary Discretionary MPC (referral) Other MPC referral

Reason(s):

NOTICE OF DECISION

This development permit application is:

- Approved
- Approved with Conditions:
- Refused for the following reasons:
- Tabled for further information:

Date of Decision: _____ Permit Issued: _____

Development Authority Signature: _____



Town of Irricana

Box 100 222 - 2 Street
Irricana AB T0M 1B0
(403) 935-4672

OFFICIAL RECEIPT

Page 1 of 1
RECEIPT #
20243577
DATE OF ISSUE
2024-08-27
3:18:58PM
POSTING DATE
2024-08-27

Newstead, Nicholas
Box 776
339 - 3 Street
Irricana, ALBERTA
T0M 1B0
ALBERTA

ACCOUNT #	DESCRIPTION	PREV BAL	PAYMENT	BALANCE	GST
1610052100 GL	Development Permit Application D2024.011 (Home Occupation 3 (Major)		160.00		0.00

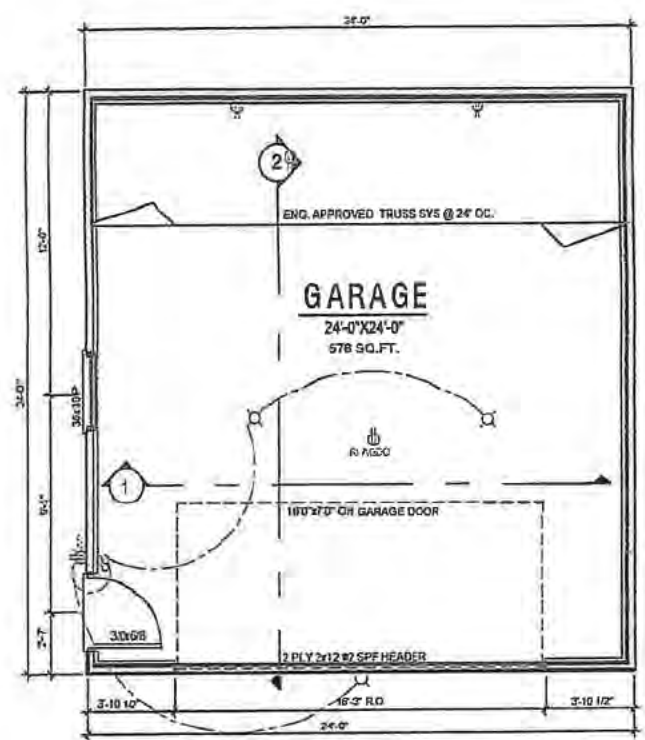
DEBIT 160.00

GST REG. # 108103367RT0001	\$0.00
LEVY	\$0.00
TOTAL AMOUNT RECEIVED	\$160.00

Received By
PM
Batch #
13809

Development Permit Application: 339 - 3 Stree
Irricana

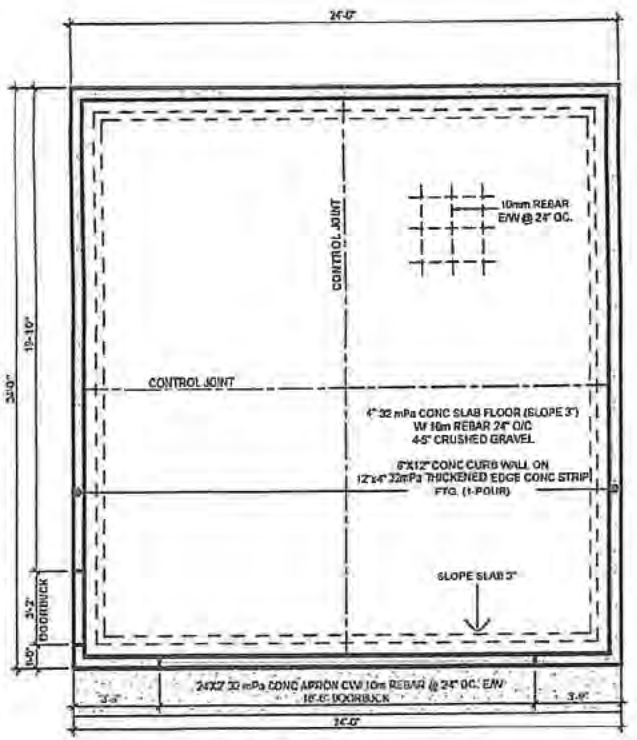
Approved for residential use previously (2022)



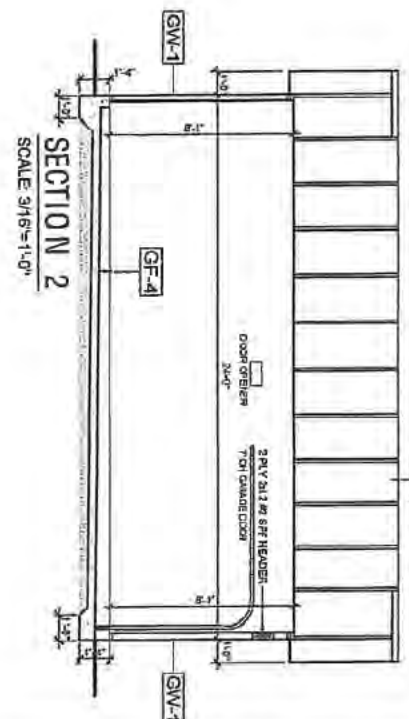
FLOOR PLAN
SCALE: 3/16"=1'-0"

ELECTRICAL LEGEND

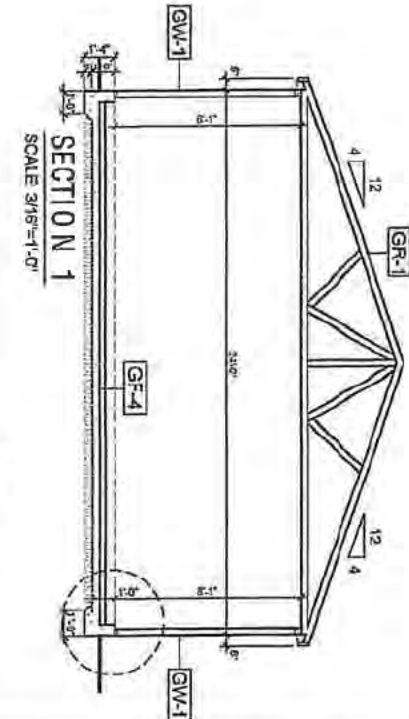
- ⊕ ONE-WAY SWITCH
- ⊖ 110V OUTLET
- ⊕ OUTDOOR WEATHER-PROOF OUTLET
- ⊕ GARAGE DOOR OPERATOR
- ⊕ LIGHT



FOUNDATION PLAN
SCALE: 3/16"=1'-0"



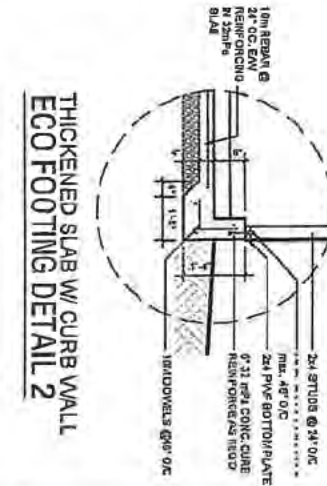
SECTION 2
SCALE: 3/16"=1'-0"



SECTION 1
SCALE: 3/16"=1'-0"

ECONOMY

GF-4	UNINSULATED WALLS & ROOF
GR-1	GARAGE SLAB
GW-1	ROOF AND CEILINGS
	EXTERIOR WALLS



**THICKENED SLAB W/ CURB WALL
ECO FOOTING DETAIL 2**

BUILDING PER SET

1	FOUNDATION	5
2	FLOOR PLAN	6
3	BUILDING SEC	7
4	SECTION 1	8
5	SECTION 2	9

PROJECT INFORMATION

PROJECT: 2022-03-17
DATE: 2022-03-17
SCALE: AS SHOWN
DRAWN BY: LL

WD1.

24X24 ECO GAR
3.09 3RD STREET
IRRICANA, ALBERTA
L 21-24 B 12 P 508

ALLIANCE-EXPERIMENTAL-5000

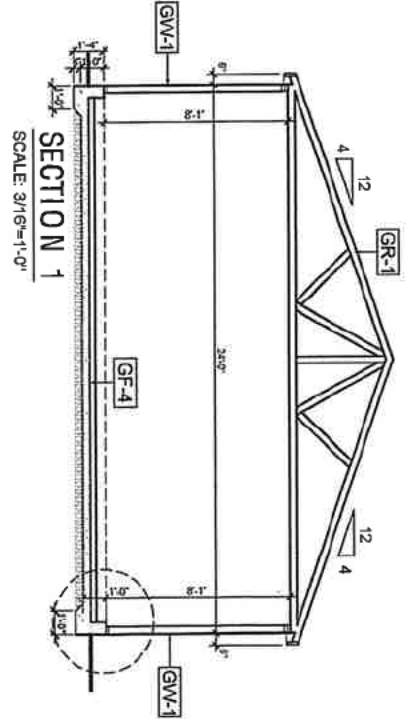
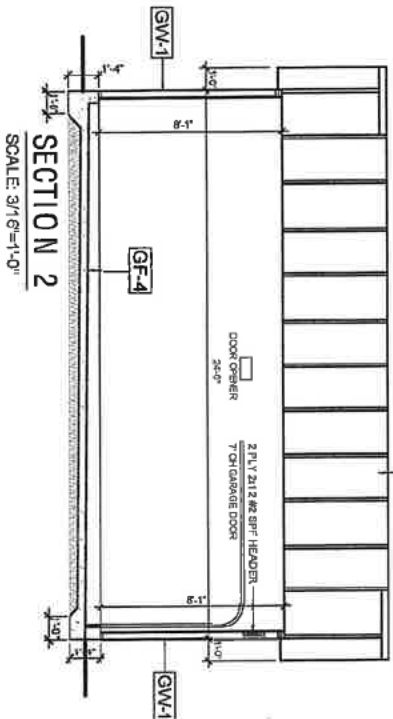
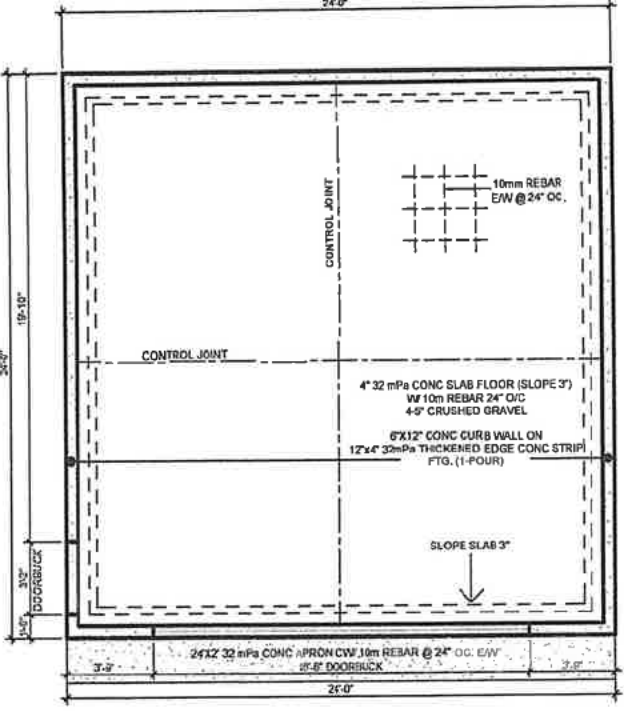
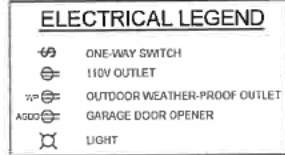
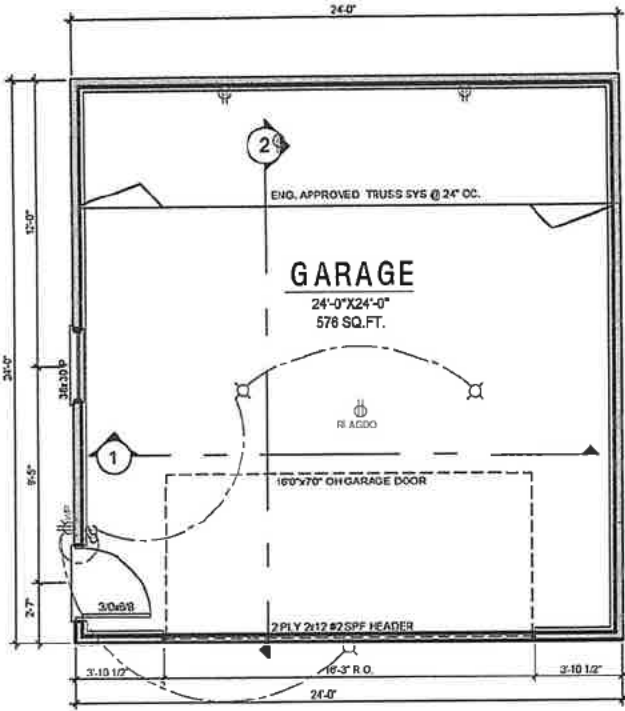
8934 - 38 STREET NW
CALGARY, ALBERTA T3J
403-276-2000

ALLIANCE
EXPERIMENTAL-5000

8934 - 38 STREET NW
CALGARY, ALBERTA T3J
403-276-2000

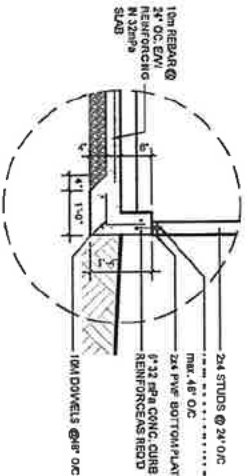
ALLIANCE-EXPERIMENTAL-5000

Approved for residential use previously (2022)



UNINSULATED WALLS & ROOF
GF-4 GARAGE SLAB 4" 32 mPa CONC SLAB ON GRADE 4" COMP. GRAVEL (SLOPE 3")
GR-1 ROOF AND CEILING 2" 15# INSUL. SINGLE LAYERING APPROVED WOOD RAFTERS @ 24" OC 3/8" OSB SHEATHING OVER RAFTERS SERVICED TO A LINE NOT LESS THAN 1" FROM FINISH TO OCCUR @ 24" OC. AT BOTTOM ATTIC VENTILATION 1:30 OF INSULATED CEILING (REQUIRED ONLY WHEN FINISHED GARAGE) EXTERIOR WALLS NAME, SIGNING AS SPEC'D 2x4 K.D. STUDS @ 24" OC. C/W TOP PLATES AND 1 BOTTOM PLATE TO MATCH STUD WIDTH

**THICKENED SLAB W/ CURB WALL
ECO FOOTING DETAIL 2**



ECONOMY

<p>ALLIANCE RENOVATIONS - EDUCATION - CONCRETE</p> <p>8824 - 38 STREET NE CALDARI, ALBERTA T3J 4B9 403-228-2000</p>		<p>24x24 Eco GARAGE 339 3rd STREET IRRICANA, ALBERTA L 21-24 B 12 P 5087 W</p>																	
<p>PROJECT NAME ADDRESS 24x24 Eco GARAGE</p>																			
<p>DATE: 2022-08-12 SCALE: AS SHOWN DRAWN BY: LL</p>																			
<p>REVISION</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>				NO.	REVISION	DATE	BY	1				2				3			
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3																			
<p>ALL WORK IS PERMITTED TO CONPLY TO AEC 3018, 48 EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.</p>																			
<p>BUILDING PERMIT SET</p>																			
<p>PROJECT NO: 20220812</p>																			
<p>DATE: 2022-08-12</p>																			
<p>SCALE: AS SHOWN</p>																			
<p>DRAWN BY: LL</p>																			
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<p>DATE: 2022-08-12</p>																			
<p>SCALE: AS SHOWN</p>																			
<p>DRAWN BY: LL</p>																			

PLEASE SIGNATURE & SEAL
I DOU COMP. ATTENTION OF THE
PROPOSED PROJECT

WD1.2

CLIENT: GARAGE
 PROJECT NAME: 24X24

24x24 Eco GARAGE
 399 3rd STREET
 IRRUCANA, ALBERTA
 L 21-24 B 12 P 5087 W

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ALL WORKS REFERENCED TO COMPLETE TO ALL APPLICABLE CODES AND REGULATIONS AND TO ALL APPLICABLE BUILDING DEPARTMENT ORDINANCES.

BUILDING PERMIT SET

ISSUED FOR:	DATE: (MM/DD)
REVISION:	3/27/2014
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REVISION:	

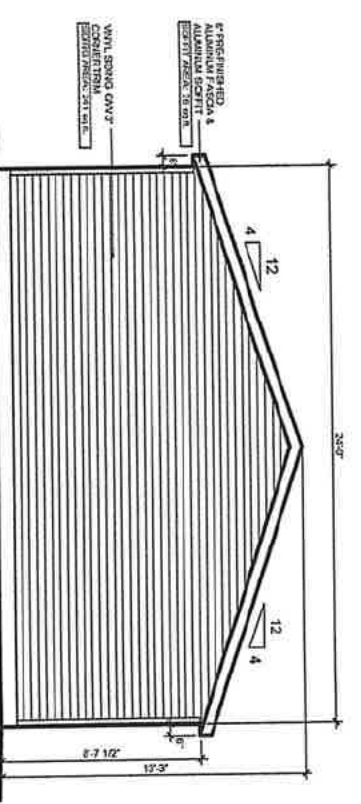
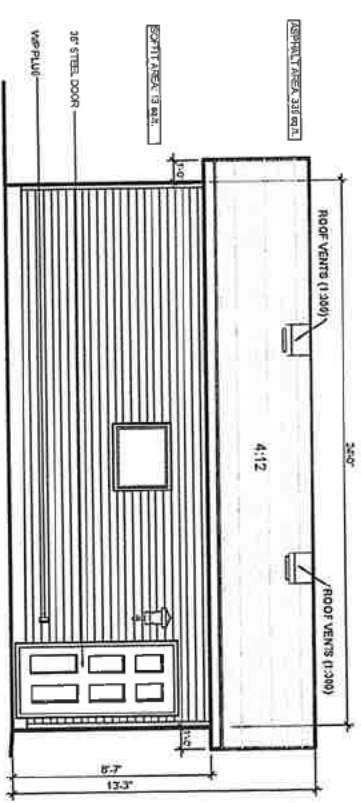
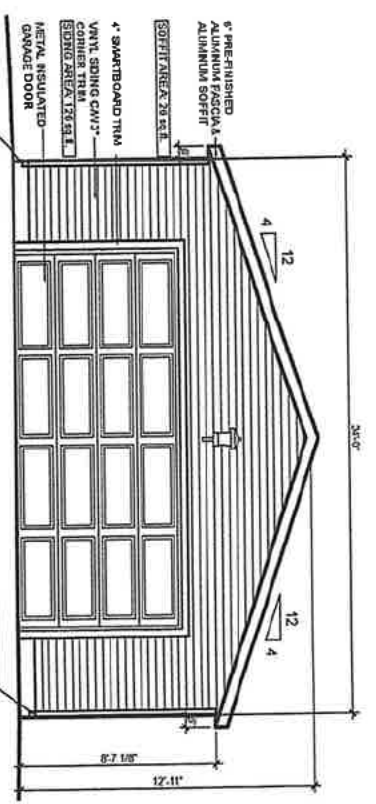
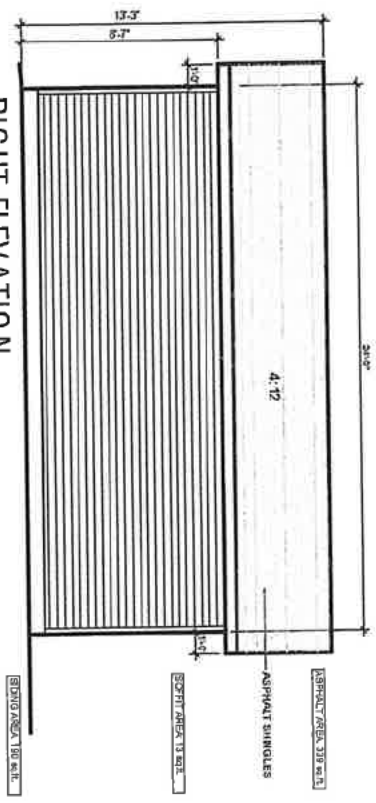
ELEVATIONS

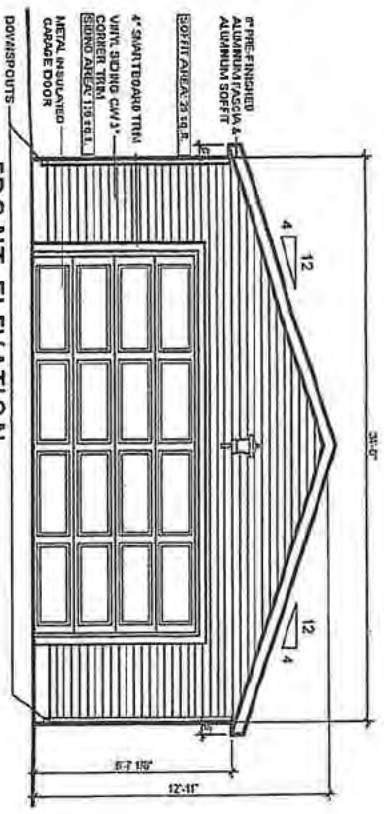
PROJECT #	DATE	SCALE	DRAWN BY	DATE (MM/DD)
2022-338	2022.08.12	AS SHOWN	LL	

WD1.1

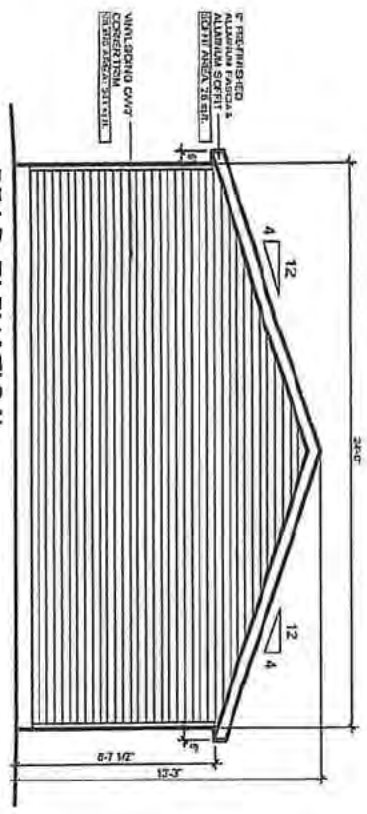
MATERIALS

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SIDING	718	FT	
GUTTER	52	FT	
ASPHALT ROOFING	678	SQ.FT	
SOFFIT	78	SQ.FT	
FASCIA	104	FT	

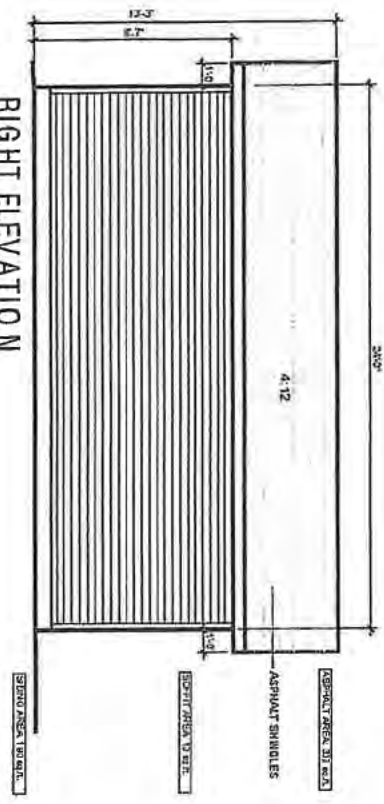




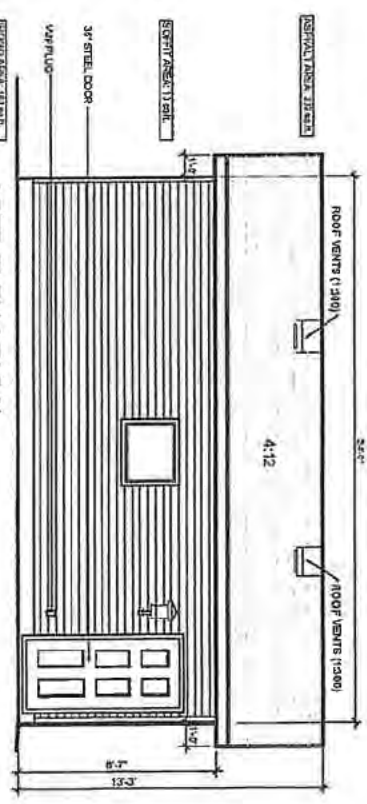
FRONT ELEVATION
SCALE: 3/16"=1'-0"



REAR ELEVATION
SCALE: 3/16"=1'-0"



RIGHT ELEVATION
SCALE: 3/16"=1'-0"



LEFT ELEVATION
SCALE: 3/16"=1'-0"

MATERIALS

	718	52	678	78	104
SIDING	718				
GUTTER		52			
ASPHALT ROOFING			678		
SOFFIT				78	
FASCIA					104
	FT	FT	SQ. FT	SQ. FT	FT

ALLIANCI
INNOVATION • RELOCATION • CONCRETE

8334 - 38 SHEET 1E
CALSBRY, ALBERTA, CANADA T2A 4G9
403-228-2000

ALLIANCE EXCAVATION, CONCRETE

24x24 Eco GARAGE
389 3rd STREET
IRPUCANA, ALBERTA
L 21-24 B 12 P 5087 V

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BUILDING PERM SET

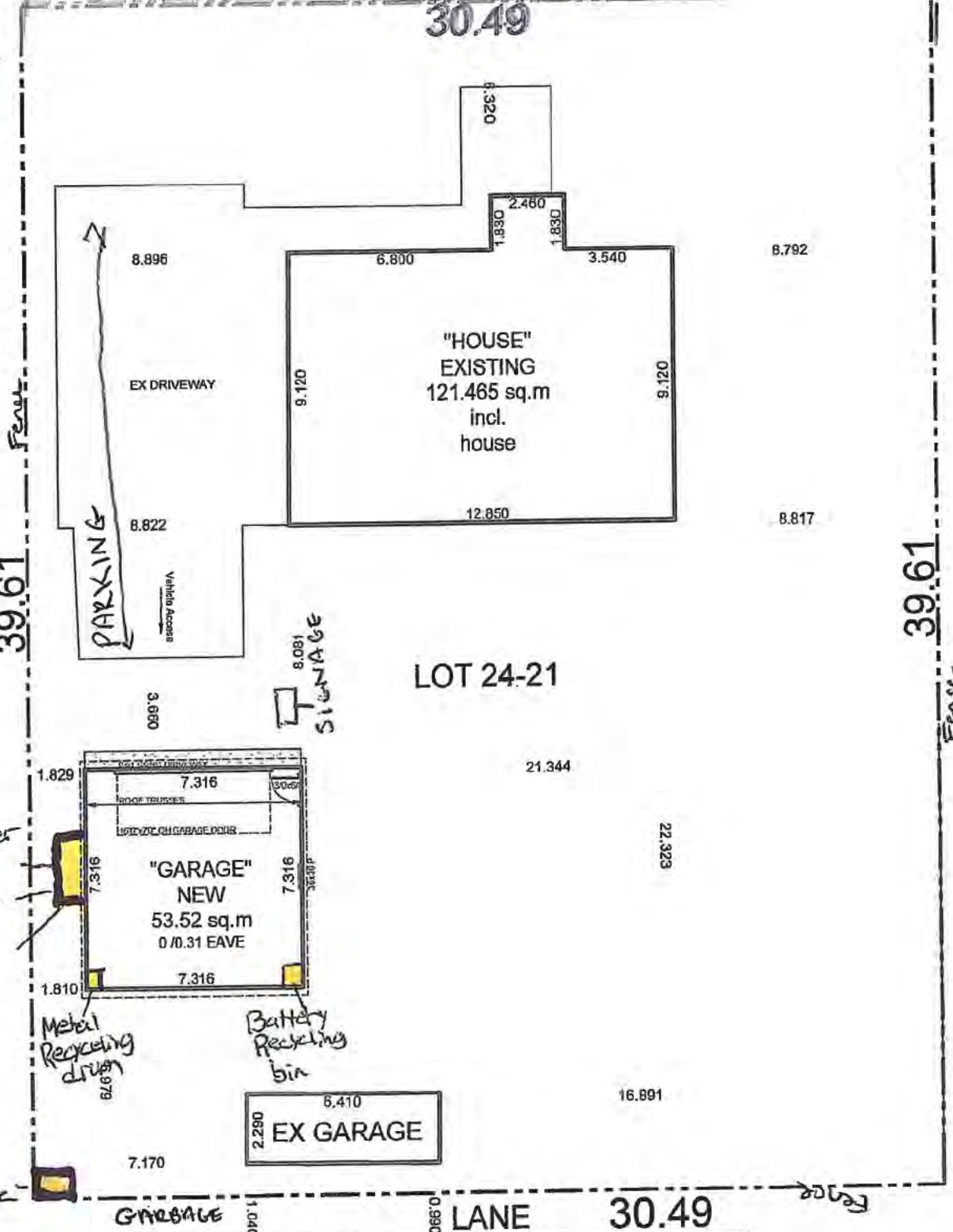
ISSUED FOR	DATE
REVISION	2022
1.	
2.	
3.	

ELEVATIONS

PROJECT #	302-538
DATE	2022.09.12
SCALE	AS SHOWN
DRAWN BY	LL
REVISION	
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PLEASE RECYCLE THIS PERMIT DRAWING SET.

Approved for residential use previously (2022); markups show waste management; storage and parking



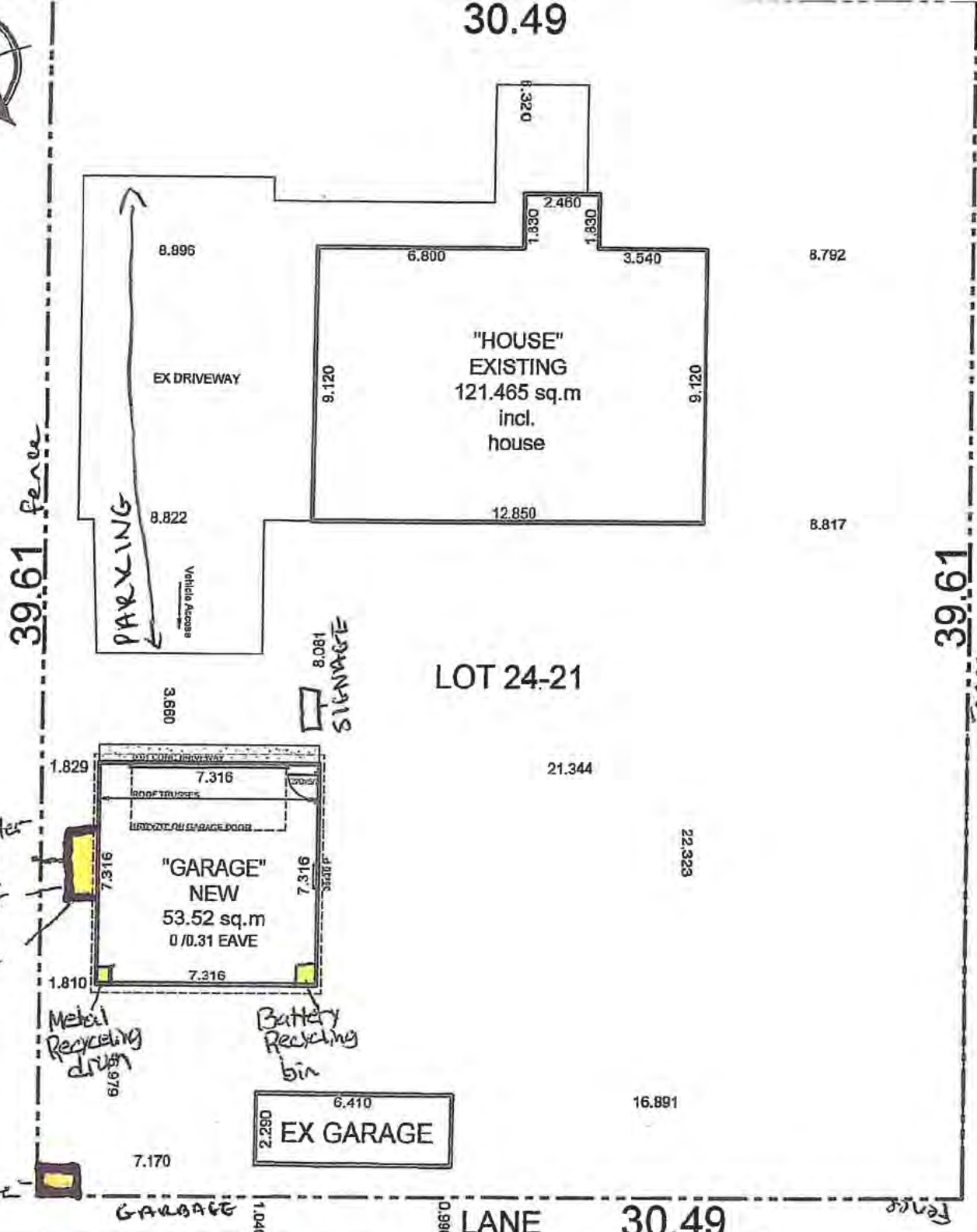
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		45%	543.43 sq.m
LOT	21-24	ACTUAL	174.985 sq.m
BLOCK	12	ACTUAL %	14.49%
PHASE/PLAN#	5087 W	DATE	2022.09.12
AREA	-	SCALE	1:200
CITY	IRRICANA	DRAWN BY	LL
PROJECT	24X24 GARAGE	JOB #	2022-336

CLIENT SIGNATURE

CLIENT SIGNATURE

6834 - 36 STREET NE | CALGARY, AB | T3J 4C9 | 403-228-2000 | ALLIANCE-EXCAVATION-CONCRETE.COM

APPROVED FOR RESIDENTIAL USE PREVIOUSLY (2022) - markups show waste
 5934 - 36 STREET NE | CALGARY, AB | T3J 4G9 | 403-228-2000 | ALLIANCE-EXCAVATION-CONCRETE.COM
 signage and parking management,



SITE PLAN	ALLIANCE RENOVATIONS • EXCAVATION • CONCRETE	LOT AREA	1207.62 sq.m
		45%	543.43 sq.m
LOT	21-24	ACTUAL	174.985 sq.m
BLOCK	12	ACTUAL %	14.49%
PHASE/PLAN#	5087 W	DATE	2022.09.12
AREA	-	SCALE	1:200
CITY	IRRICANA	DRAWN BY	LL
PROJECT	24X24 GARAGE	JOB #	2022-336

CLIENT SIGNATURE

CLIENT SIGNATURE

3rd AVENUE

* Drainage, no flush toilet or sink on lot. Biodegradable handcleaner and pop up first aid station
 Catersy Toilet inside house

ALLIANCE
 RENOVATIONS • EXCAVATION • CONCRETE
 8634 - 36 STREET NE
 CALGARY, ALBERTA T2H 4H3
 403-228-2000
 ALLIANCE-EXCAVATION-CONCRETE.CA

SOUTH ELEVATION
 FRANCES LAMBLE ADDRESS
24x24 Eco GARAGE
 339 3rd STREET
 IRRICANA, ALBERTA
 L 21-24 B 12 P 5087 W

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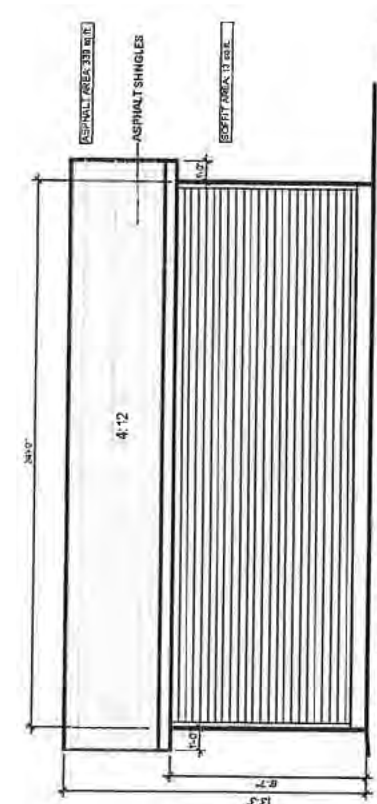
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REVIEW:	2023.12.12
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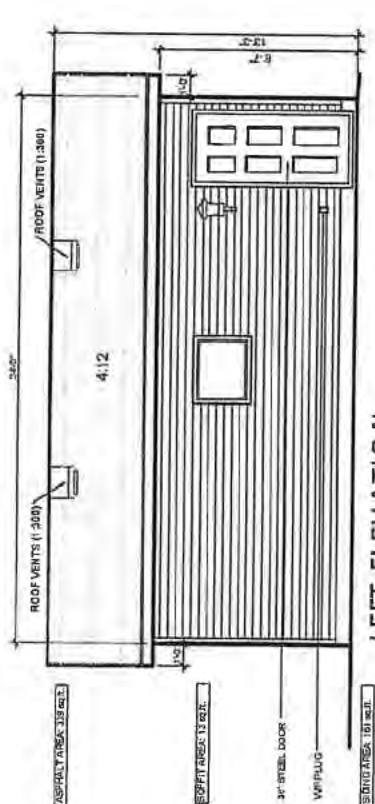
ELEVATIONS

PROJECT #	2023-338
DATE	2023.09.12
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DRAWN BY	LL
ISSUED BY	LL

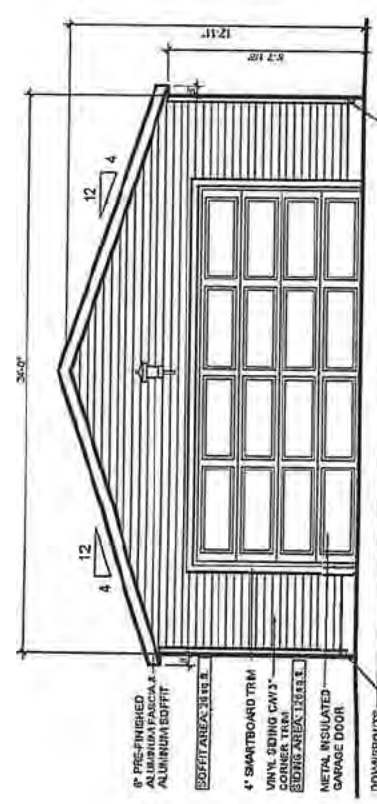
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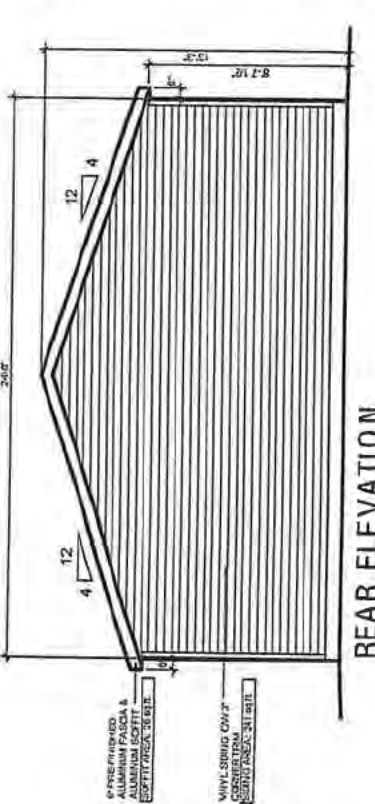
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LEFT ELEVATION
 SCALE: 3/16"=1'-0"



FRONT ELEVATION
 SCALE: 3/16"=1'-0"



REAR ELEVATION
 SCALE: 3/16"=1'-0"

MATERIALS

	SQ.FT.	SQ.FT.
SIDING	718	FT
GUTTER	52	SQ.FT
ASPHALT ROOFING	678	SQ.FT
SOFFIT	78	SQ.FT
FASCIA	104	FT

* Drainage, no flush toilet or sink on site for lot - Biodegradable "Wox" handblear and pop up first aid site
 Courtesy Toilet inside house

ALLIANT
 ARCHITECTURAL & ENGINEERING LTD.
 6934 - 36 STREET NW
 CALGARY, ALBERTA T2J 1J1
 403-228-2000
 ALLIANCE-EXAMINATION-COMF

CUSTOMER NAME
 PROJECT LOCATION ADDRESS
24x24 Eco GARAGE
 389 3RD STREET
 IRRIGANA, ALBERTA
 L 21-24 B 12 P 5087

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BUILDING PERMITS SET

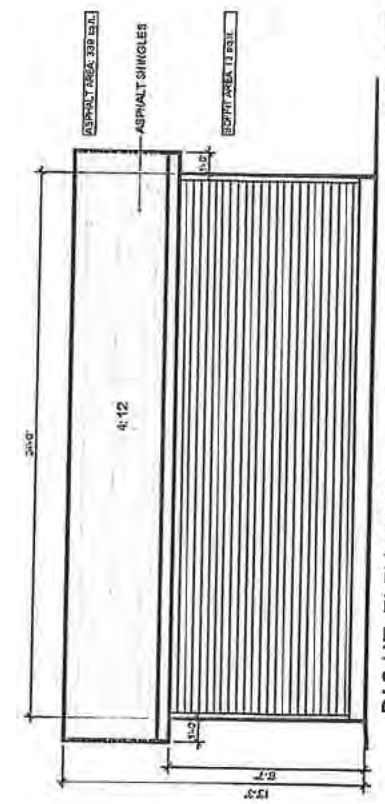
ISSUED FOR:	DATE
REVISION	2022
DATE	
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REVISION	
DATE	

ELEVATIONS

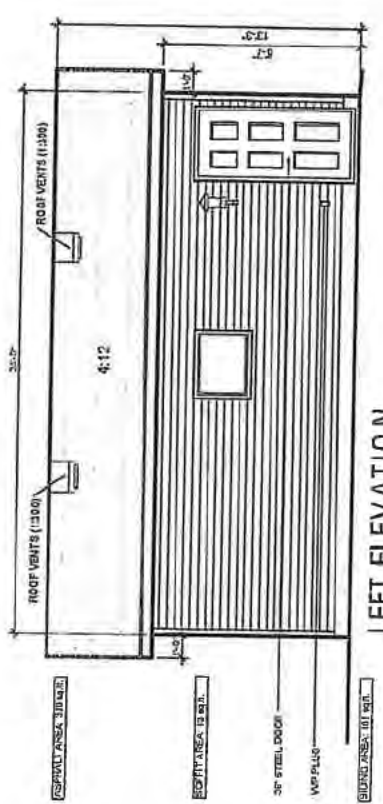
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DATE	2022.08.12
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DRAWN BY	LL
CHECKED BY	

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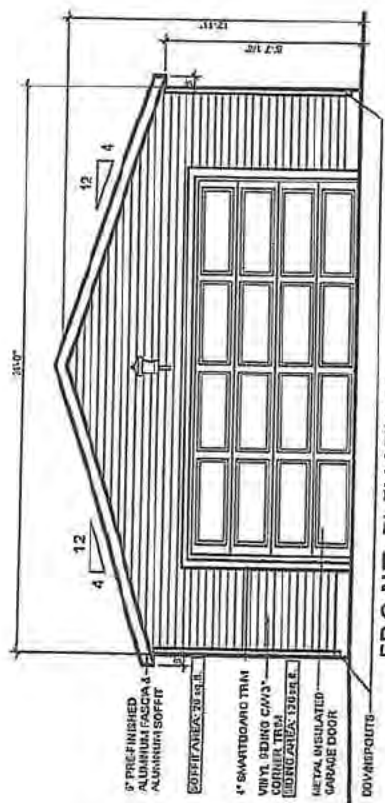
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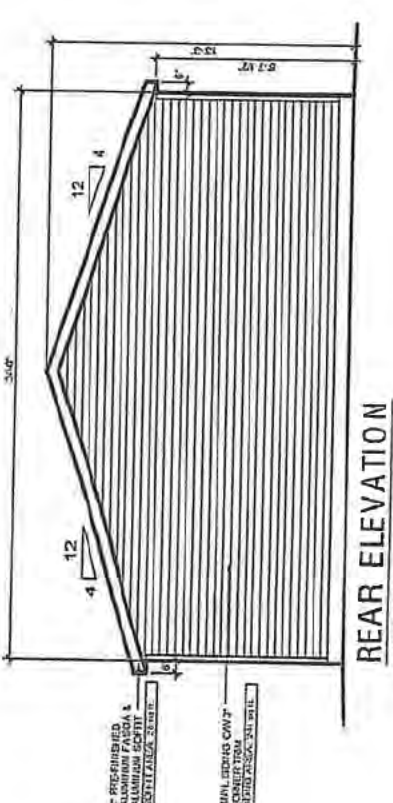
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LEFT ELEVATION
 SCALE: 3/16"=1'-0"



FRONT ELEVATION
 SCALE: 3/16"=1'-0"



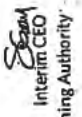
REAR ELEVATION
 SCALE: 3/16"=1'-0"

MATERIALS

	SQ. FT.	SQ. FT.	SQ. FT.	SQ. FT.
SIDING	718			
GUTTER	52			
ASPHALT ROOFING	678			
SOFFIT	78			
FASCIA	104			

This is to certify that
NICHOLAS STEPHEN NEWSTEAD
holds a
CERTIFICATE OF QUALIFICATION
in the trade of

AUTOMOTIVE SERVICE TECHNICIAN



Issue Date: 28/1/2019 | Certificate # [REDACTED]

This is to certify that
NICHOLAS STEPHEN NEWSTEAD
holds a
CERTIFICATE OF APPRENTICESHIP
in the trade of

AUTOMOTIVE SERVICE TECHNICIAN



Issue Date: 28/1/2019 | Certificate # [REDACTED]

NEWSTEAD MECHANICAL CONSULTING

Affordable, efficient, experienced

Why Us over our friendly competitors?

US

- family owned & operated
- greener initiatives
- \$120/hr mobile rates
- shop rate (permit pending) will be \$90/hr
- 10% military discount available for auto parts

OTHERS

- not family owned
- does not practice green initiatives as not all fluids recycled
- does not offer mobile services
- shop rate of \$120/hr

Family Owned & Operated

-company led by Nicholas (Nick) Newstead, a Red Seal certified journeyman mechanic with 14 years of automotive experience -accounting supported by wife Ashley Newstead, who has 7 years of experience in government administration, social assistance and adjudication.



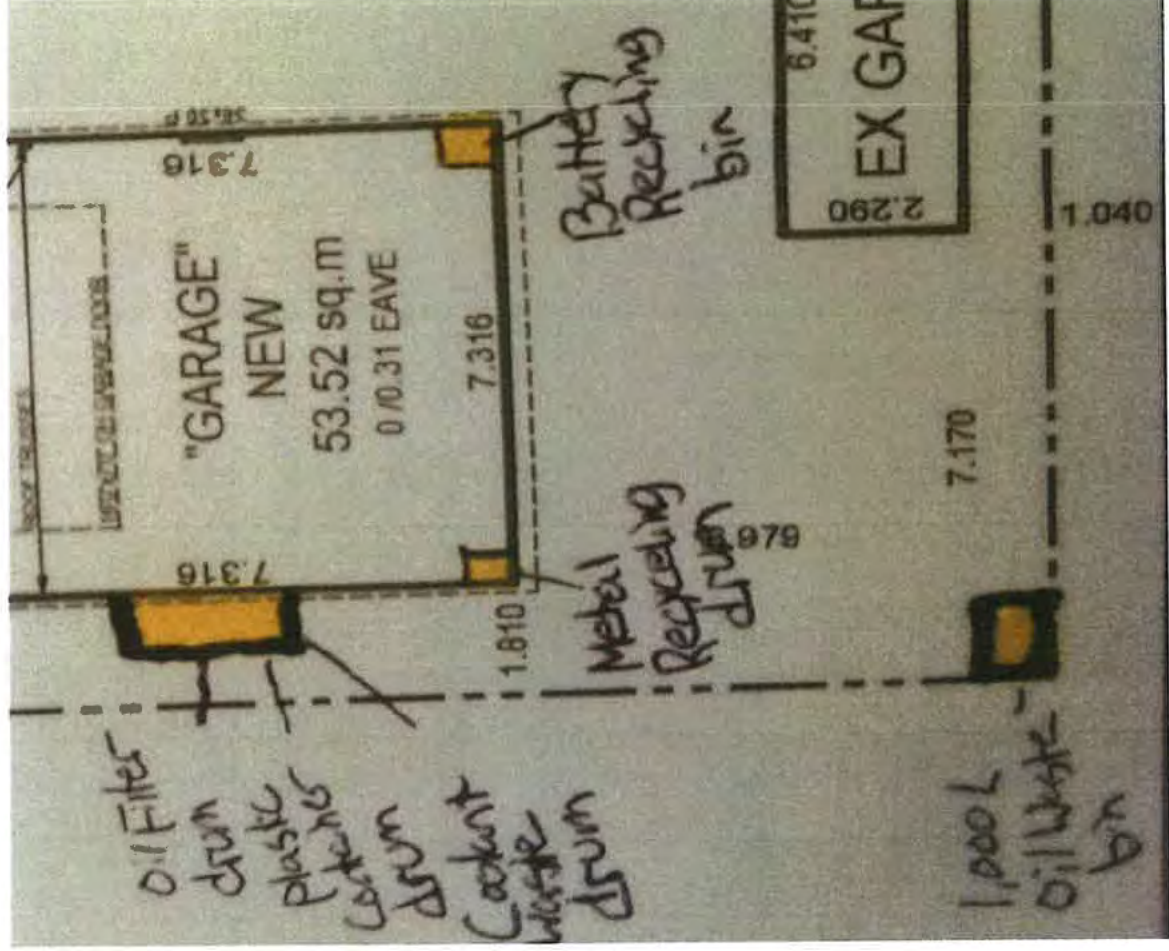
Greener Initiatives

-all fluids (oil, coolant,brake fluid, power steering fluid) and plastic recycled through local company E360 Environmental Solutions in Calgary. They pickup oil for free once it reaches 1000 litres and plastics in courtesy bags also free. We already have acquired a industrial grade container capable of holding oil for their pickup. Coolant is an expense we pay for them to recycle for \$100 per barrel. They provide lidded barrels. They also provide two fire safety rated steel drums for oil filters to be recycled. If there is an emergency oil spill, this company is designated to handle it at our cost.

-batteries recycled free by LordCo, AutoValue & Napa

-all metal recycled through local company Calgary Metal Recycling Inc. Once a month Nick will collect all the metal and drive it in our truck to them.

WASTE MANAGEMENT



Consult Services

Limited to your home, acreage
or ranch

We come to you!

- pre purchase inspections
- Amvic inspections
- mobile diagnostics
- battery boosting
- service advising
- part quotes and delivery
- servicing Rockyview County
currently, permits pending Irricana,
Strathmore, & Airdrie

Shop Services

(pending redevelopment approval

by

Irricana due to Land Use Bylaw)

@339 3 St, Irricana, AB

-repairs to passenger vehicles and light trucks (under 9,000 lbs of weight)

-brake service or replacement, engine & transmission diagnostic and repair, suspension diagnostic & repair, tire rotation & install, general automotive maintenance, advanced electrical diagnostic & repair, custom wiring, aftermarket stereo and backup camera upgrades, lift kit & accessory install, performance upgrades, exhaust repairs, Amvic inspections, light bulb replacement & upgrades, battery boosting & replacement, pre-purchase inspections, service advising, oil and fluid servicing, part quotes & delivery

-all services not currently offered until approved for land use redevelopment. Application submitted as same time of business application

BUSINESS IMPACT ASSESSMENT

Benefits

- more affordable for community, as census shows most Irricanaians have a gross household income of \$90,000 (2021)
- has potential and intent to hire locally, and reduce Irricana's high unemployment rate of 15%
- gives way to younger generations and start ups to continue the town as most Irricanaians are aging (nearly 70% of residents are above age 35).
- mobile service especially benefits elderly and handicapped who are not able to easily get to a stationary mechanic, and can have vehicle inspected and parts quotes at home without a tow, saving money

Considerations

- If land development approved, parking is limited to the driveway on the lot, which is oversized and capable of holding 4 vehicles, however, we only want to service a maximum of 3 vehicles a day. Public parking on street will not be impacted.
- Business hours limited to 9am to 5pm, and comply with noise bylaws so neighbours will see no disturbance.
- Direct competitors Phil's Autohss posted his business for sale, is retiring. Business is posted high above means of financial capabilities for younger generations to be able to afford and takeover. With no clear buyer, likely to lead to non local buyer or business closing down in future leaving Irricana without automotive services.
- As business grows, and capital revenue increases, a second location may be required, and would continue to support local employment, as well as apprenticeships for youth.
- There would be an increase in road traffic of 3 cars per day on main roads entering the town and onto 3 Street. This is unlikely to produce more wear or road maintenance for the town.

BUSINESS RECOVERY

-In the event the business is unsuccessful and requires closure, wastes will be disposed of properly, bins returned Ito E360 and signage removed. The business owner will return to working for another automotive business, likely outside of Irricana as an employee.

Item G1

Attachment 'B' – Circulation Letter (Template)

October 28, 2024



Registered Property Owner

[REDACTED]
[REDACTED]

Irricana, Alberta T0M 1B0

Dear Property Owner,

The Town of Irricana has received a **Development Permit Application for 339 – 3rd Street (Block 12, Lots 21-24 Plan 5087W)** for the purpose of operating Licensed Automotive Services from the property, including Mobile Mechanic Services and onsite storage of related materials (e.g., Batteries, Oil & Lubricants, Filters). The application can be viewed by visiting the Town of Irricana Website (Municipal Government Page, Planning & Development Tab).

Under the Irricana Land Use Bylaw (Bylaw 007:2023), the Residential Two-Dwelling Restricted District (R2) allows the Municipal Planning Commission (MPC) to consider the application as a Discretionary Use, specifically *Home Occupation 3 – Major*.

As an adjacent landowner who may be impacted by a Discretionary Use, the Town of Irricana would like to hear your thoughts on this application. You are not required to reply, however, your input may assist the Municipal Planning Commission in determining the if the application is approved (including approval conditions) or denied.

If you have any comments about this application, please submit them in writing by November 15, 2024 to:

via Mail

Town of Irricana
PO Box 100
Irricana, AB T0M 1B0

OR

via Email

Irricana@Irricana.com

Please be sure to include your name and address (Municipal or Legal), and reference application D2024:011.

Whether you're in support of the application, opposed to it, or simply wish to share your thoughts, your feedback is welcome. Please be aware that names, addresses, and comments are part of the public record, and are shared with the Municipal Planning Commission in a public report at a public meeting.

Best Regards,

Doug Hafichuk

Chief Administrative Officer, Town of Irricana
P: (403) 935-4672 | E: dhafichuk@irricana.com
A: PO Box 100, 222 - 2nd Street, Irricana, AB T0M 1B0
W: www.irricana.com

cc: File

Item G1

Attachment 'C' – Circulation Public Comments

Doug Hafichuk

From: Irricana
Sent: November 12, 2024 9:17 AM
To: Doug Hafichuk
Subject: FW: development application feedback

From: Shirley Silbernagel <[REDACTED]>
Sent: Monday, November 11, 2024 6:15 PM
To: Irricana <Irricana@irricana.com>
Subject: development application feedback

In response to application 02024-011

Thank you for the opportunity to provide feedback on this application.

Allowing the operation of a commercial business such as an automotive service within an established residential area is unreasonable and unwarranted.

I am aware that many residents pursue similar activities as hobbies within the confines of their residential properties. Operating a mechanical services business is just that. A business. As such it should be confined to the commercial sectors of our town where the associated noise and safe storage of oils used batteries and such are more professionally managed.

Thank you for this opportunity to share my concerns.

Rick Lepore

328 4 st

November 14, 2024

To the Development board of Irricana,

RE: Development Reference # D2024:011

I am responding to the letter that I received from The Town of Irricana regarding the requested development permit application for 339-3 Street for the purpose of Operating a Licensed Automotive Service out of the residential garage.

As an adjacent landowner, I am strongly opposed to this application and I have significant concerns regarding the environmentally hazardous products that would be used and contained on the suggested property. Some of the products are highly flammable, combustible and toxic, which can cause a increased fire hazzard to surrounding homes. There would also be environmentally hazardous products that can be damaging to the surrounding area if incorrectly disposed of or if an accident or vandalism occurs. I also believe that there would be an increase in both noise and air pollution in the area as well as an increase in road traffic.

This area is zoned residential and is not meant for commercial use.

Thank you for considering my thoughts during your decision making process.

Sincerely,

A handwritten signature in cursive script that reads "Tracy Shields". The signature is written in black ink and is positioned above the printed name.

Tracy Shields

Lot 6,Blk 22 Plan 7910060

Irricana, AB

Doug Hafichuk

From: Irricana
Sent: October 30, 2024 12:28 PM
To: Doug Hafichuk
Subject: FW: Doug Hafichuk Development Permit Application for 339-3rd Street

From: Simone Carmel <[REDACTED]>
Sent: Wednesday, October 30, 2024 12:24 PM
To: Irricana <Irricana@irricana.com>
Subject: Doug Hafichuk Development Permit Application for 339-3rd Street

Good Afternoon Doug,
My concerns are as follows:

1. The noise level of having such a business within our community. Sound carries seems to really carry, dogs barking, reroofing and other construction within our neighbourhood. Now with the sound of pneumatic instruments, like those used in tire changes, what provision is being made to contain the noise?
2. You mention oil drums, other environmental contaminants, and old parts; who or what guidelines monitor what is being stored and abandoned in the yard. As we walk through the town there are a number of yards that seem to be junk collectors which devalue the properties surrounding them.
3. The number of vehicles that are present at one time, There is already a shortage of parking areas for the residential area especially during the snow removal days. How will that impact the current situation?

Thank you for the opportunity to express my opinion,

--

Simone Carmel
[REDACTED] home
[REDACTED] cell

Doug Hafichuk

From: Irricana
Sent: November 13, 2024 3:10 PM
To: Doug Hafichuk
Subject: FW: Development permit application for 339-3rd st

From: Doris Davies <[REDACTED]>
Sent: Wednesday, November 13, 2024 2:58 PM
To: Irricana <Irricana@irricana.com>
Subject: Development permit application for 339-3rd st

We live at 25 Booth Cres..only a short way from the proposed site for the mobile mechanical services. Firstly, we are all for small business, and wish all our local businesses success. Our concern we have and would like addressed is the potential for noise. I worked over 20 years on a job doing 12 hour shift work, and when there is a lot of noise in the residential area, it is very difficult to get any sleep. Our question is how much noise is anticipated from air compressors running, other machines, hammering, etc. This might seem like a small concern, but noise can have a detrimental effect on life, when you need to sleep, and it is impossible because of noise. What is the anticipated max. decibel level of noise going to be?

Thank you,

Bob and Doris Davies

Doug Hafichuk

Bruce MaryAnn Clark
28 Booth Crescent
Lot 58 Block 16 Inuvua, Alta

D 2024: 011

My concerns regarding the development permit for the purpose of operating automotive services are as follows

- ① What if he has multiple vehicles which require parts where will they be stored while waiting to be fixed. If on roads what about snow removal etc.
- ② The property 339-3rd street has been fixing vehicles for some time without permit dropping off vehicles late at night in the dark to be repaired. Why now apply for a permit when he hasn't had it in the past to do work.
- ③ He has a disregard for rules & bylaws for examples fire during bans and not keeping yard clean which makes me concerned that the storage of batteries and oil may not be done appropriately either.
- ④ Also does he have his RED SEAL Alberta ticket to do his trade in Alberta
- ⑤ Also the noise associated with impact tools etc makes a lot of loud noises which in summer is quite annoying
- ⑥ Will it affect the quality of the neighborhood I think it will. Perhaps it isn't a business suited to

residential area. People don't want the noise and extra vehicle traffic associated with it. We have designated industrial areas. What about children in the area with all extra traffic

(7) There is another home on property that has propane tanks large ones and needs septic services to pump out sewage tanks ~~what~~ will the extra vehicles stop this problem. He doesn't have a fenced area for the vehicles he works on will this cause theft problems in the neighborhood cause we have issues already.

(8) Its not a business that is guaranteed to not have accidents like oil spills and possible contamination of area with gas, oil, or other chemicals like antifreeze etc.

Will he deal with these correctly and properly. I think Not!

(9) Residential is Residential keep that in mind Commercial & Industrial has no place there.

Its been that way 45 yrs that we've been here and thats what it should stay.

(10) People have to respect the rules otherwise People will do what they want when they want.

(11) and who will deal with the problems that arise down the road. By-law not likely Village has it in part with usaries in that property.

Well there are probably more issues but I am
angry that my concerns will fall on deaf ears
and soon there will be a Automotive shop next door
with all the noise and problems to follow and no one
will do anything.

MayAnn Brian Clark
[REDACTED]

It would be much easier to talk face to face
with you. You have no idea the issues that
will arise down the road.

Residential is just that
not industrial.