



DEVELOPMENT PERMIT APPLICATION

NEW DEVELOPMENT Land Use Bylaw 11:2010

Town of Irricana Phone: 403-935-4672
 Box 100 Fax: 403-935-4270
 Irricana, Alberta T0M 1B0 E-Mail: irricana@irricana.com

I/We hereby make application for a development permit under the provisions of the Land Use Bylaw in accordance with the plans and supporting information submitted herewith which form part of this application. It is understood that the Development Authority will not accept incomplete applications.

PERMIT NO. D2024.011 FEES: \$16000 RECEIPT NO. 20243577 (Aug 27/24)
 Property Owner on Title: Ashley Newstead

1. APPLICANT INFORMATION:

Name:	<u>Nicholas Newstead and Ashley Newstead</u>		
Mailing Address:	<u>PO Box 776, 339 3 St, Irricana AB T0M1B0</u>		
Phone:	[REDACTED]	Alternate:	[REDACTED]
Fax:	<u>N/A</u>	E-Mail:	[REDACTED]

2. REGISTERED OWNER INFORMATION: (if different from above)

Name:	<u>Ashley Newstead</u>		
Mailing Address:	<u>PO Box 776, 339 3 St, Irricana, AB T0M1B0</u>		
Phone:	[REDACTED]	Alternate:	[REDACTED]
Fax:	<u>N/A</u>	E-Mail:	[REDACTED]

3. LAND DESCRIPTOR:

Property Address:	<u>339 3 St, Irricana AB T0M1B0</u>		
Legal Description:	Plan: <u>5087 W</u>	Block: <u>12</u>	Lot: <u>21, 22, 23, 24</u>

4. PROPOSED USE:

Land Use District:	<u>Irricana</u>
Existing Use:	<u>Residential</u>
Proposed Use:	<u>Mixed Use; Residential & Business (Industrial)</u>
	<u>Lot 24 (Garage & Driveway) for industrial use (Automotive)</u>

5. ESTIMATED DATE OF:

Commencement:	<u>N/A; Already built proposed reuse</u>
Completion:	

Additional Info provided:

- Work performed out of existing Garage.
- Offering Mobile Service
- AMVIC pending Development Approval.

the applicant and authorized to act on behalf of the

Date: July 15, 2024

- Discussed to Applicant that Business License cannot be processed until the Development Permit Application has been reviewed/processed.

authorized to act on behalf of the registered owner, the Town of site inspection in connection with my application for the Municipal Government Act.

Date: July 15, 2024

of the Freedom of Information and Protection of Privacy Act, planning bylaws and activities. It is protected by the privacy Act. If you have any questions about the collection of information, Irricana, AB, T0M 1B0, (403) 935-4672.

APPLICATION:

to facilitate a thorough evaluation and timely decision on your application" column confirming that the information has been

to be clear, legible and precise. Accurate and legible information. If any of the required information is not provided, your application is found to be missing information you will be contacted and advised.

Applicant	REQUIRED ITEMS-Two (2) copies of the following:	Office
	Site Plan drawn to scale showing:	
✓	- legal description of property boundaries with North arrow	
✓	- setbacks and yard dimensions	
✓	- the location of all buildings and structures in relation to the property lines	
✓	- dimensioned layout of parking, driveways, entrances, exits, roadways and sidewalks	
✓	- floor plans, elevations and exterior finish materials	
✓	- locations of services	
✓	- site drainage, finished lot grades, grades of roads, streets and sewers	
✓	- Commercial: location of garbage, loading, storage, outdoor display, fences, screening, retaining walls, landscaping, building operations and nature of business	
	- if applicable, cutting down of trees	
	- development impact assessment	
	Other:	

9. SITE REQUIREMENTS CALCULATION:

Area of Site:	Lot 24		
Area of all Buildings:	53.52 sq.m		
% Site Coverage of all buildings:	14.49%		
Area of Accessory Building:			
% Site Coverage of Accessory Building:			
Finished height of building(s):	12'-11"		
Parking spaces provided:	3		
Yard Setbacks:	FRONT: 0.13	BACK: 0.11	SIDE: .50 SIDE: 1.810

9. FIRE INSPECTIONS

Your development may require a fire inspection. The Notice of Decision will be forwarded to the local fire department for review and you will be contacted if an inspection is deemed appropriate. *AN.*

10. TIME LIMITS

DEVELOPMENT AUTHORIZED BY A DEVELOPMENT PERMIT MUST COMMENCE WITHIN TWELVE (12) MONTHS FROM THE DATE OF ITS ISSUE AND BE COMPLETED WITHIN TWENTY-FOUR (24) MONTHS OF THE ISSUE. *AN.*

11. BUILDING STANDARDS:

In addition to compliance of all provincial building codes, the following local by-laws pertain to construction in the Town of Irricana:

ANY DEVELOPER DISTURBING TOWN OF IRRICANA PROPERTY IS RESPONSIBLE FOR ITS RESTORATION. ALL PAVEMENT/CONCRETE MUST BE REPLACED. ALL BACKFILL MUST BE COMPACTED. *AN -*

Garbage and Refuse Disposal Bylaw #8:2003

4.11 (a) Building waste resulting from the construction, repair, decorating, clearing or grading of a building or premises;

- (i) The owner of any premises producing building waste shall provide and maintain on the premises in good condition, a sufficient number of waste receptacles or commercial containers, to store the building waste;
- (ii) Not allow his premises or adjacent premises to become untidy and unsightly because of accumulated building waste;
- (iii) Periodically deliver and dispose of all building waste to a disposal site at his own expense;
- (iv) Recapture any building waste which is blown off the premises and immediately place the same in a waste receptacle or commercial container. *AN*

Water Meters in New Construction and Relocated Buildings Bylaw #1:2002

a) Effective April 1, 2002 all water service connections for new construction and relocated buildings, residential or commercial, shall be connected to water meters as supplied by the Town upon paying a service connection fee outlined in Schedule "A". *AN*

Water Conservation Measures Bylaw #3:2000

Effective February 22, 2000 all Building Permits issued for new construction will be required to have water efficient plumbing fixtures which meet the following minimum requirements: *AN*

All flush type toilets must be either of the "ultra low-flush" type or fitted with water conservation devices to provide for a water usage not exceeding 1.6 US gallons or 6.05 litres per flush.

All shower heads must be rated not to exceed a flow of 2 US gallons or 7.57 litres per minute at a pressure of 75 pounds per square inch. In any area of the Village of Irricana where static water system pressures exceed 75 *AN*

For Office Use Only:

Property Address: _____
Permit No.: _____

PLANNING DOCUMENT REVIEW

- Alberta Land Use Framework Calgary Metropolitan Plan Municipal Sustainability Plan
- Municipal Development Plan Land Use Bylaw

The proposed development is located within a _____ District.

The proposed development is listed as:

- Permitted Discretionary Discretionary MPC (referral) Other MPC referral

Reason(s):

NOTICE OF DECISION

This development permit application is:

- Approved
- Approved with Conditions:
- Refused for the following reasons:
- Tabled for further information:

Date of Decision: _____ Permit Issued: _____

Development Authority Signature: _____



Town of Irricana

Box 100 222 - 2 Street
Irricana AB T0M 1B0
(403) 935-4672

OFFICIAL RECEIPT

Page 1 of 1
RECEIPT #
20243577
DATE OF ISSUE
2024-08-27
3:18:58PM
POSTING DATE
2024-08-27

Newstead, Nicholas
Box 776
339 - 3 Street
Irricana, ALBERTA
T0M 1B0
ALBERTA

ACCOUNT #	DESCRIPTION	PREV BAL	PAYMENT	BALANCE	GST
1610052100 GL	Development Permit Application D2024.011 (Home Occupation 3 (Major)		160.00		0.00

DEBIT 160.00

GST REG. # 108103367RT0001	\$0.00
LEVY	\$0.00
TOTAL AMOUNT RECEIVED	\$160.00

Received By
PM
Batch #
13809

Development Permit Application: 339 - 3 Stree
Irricana

Last Known Original real property report

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

3rd STREET

Fd. 1, unregistered
Plan 121
by B. M. Wilson

330m to Back of Stenwick
ASSUMED 106°57'34"

Fd. 1, unregistered
Plan 121
by B. M. Wilson

0.50 East
CS 0.05



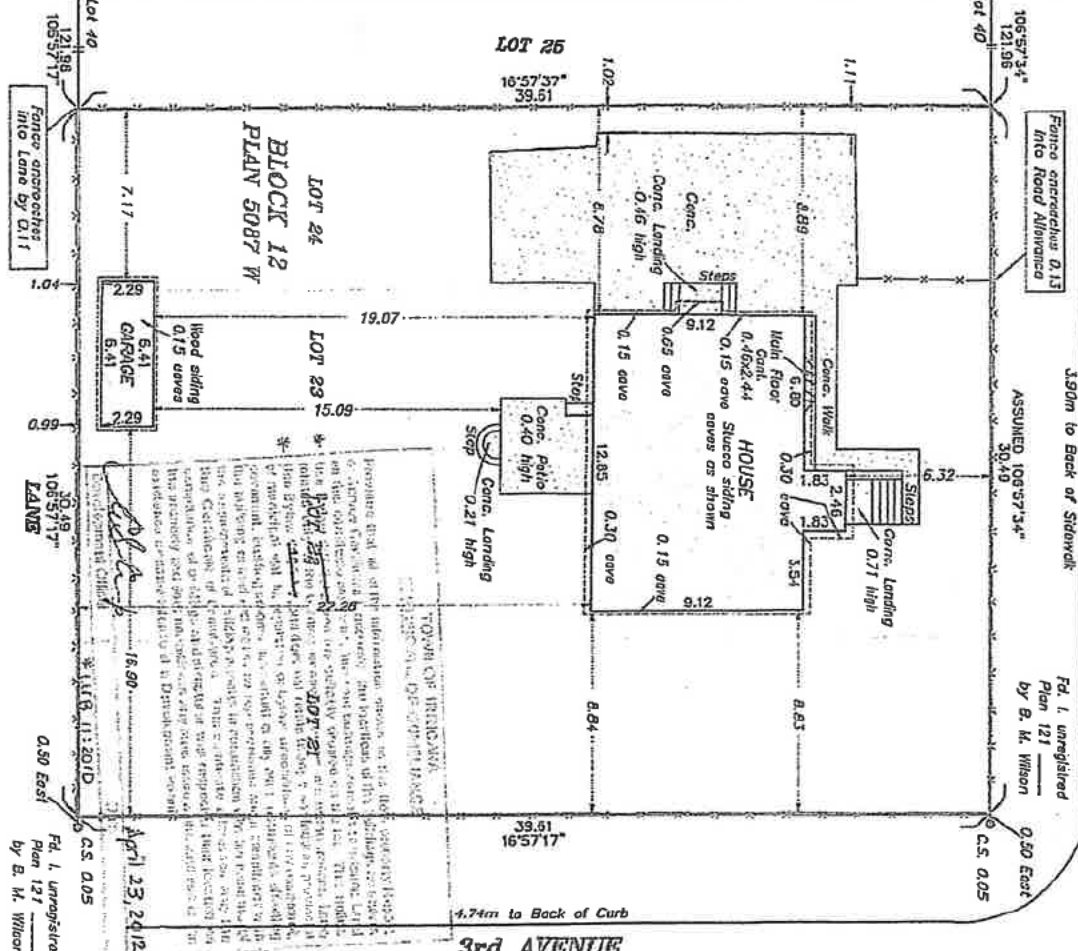
2nd AVENUE

16°56'56"
39.62

LOT 25

16°57'37"
39.51

LOT 24
LOT 23
BLOCK 12
PLAN 5087 W



3rd AVENUE

16°57'17"
39.51

1. Gordon M. Unruh, Alberta Land Surveyor do hereby certify that this Report and related survey, was prepared and performed under my personal supervision and in accordance with the Manual of Standard Practices of the Alberta Land Surveyors' Association and the role of this Report, I am of the opinion that:

- The Plan illustrates the boundaries of the Property, the improvements thereon and the location of the easements, easements and rights-of-way affecting the extent of the title to the property;
- The improvements are entirely within the boundaries of the property unless otherwise noted;
- No visible encroachments exist on the Property from any improvement situated on an adjacent property unless otherwise noted, and;
- No visible encroachments exist on registered easements or rights-of-way affecting the extent of the property, unless otherwise noted.

5. This information is based on a title search dated March 20th AD 2012 C. of T. No. 031 081 616

6. Date of Survey April 23rd, 2012

7. Unless otherwise specified the dimensions shown relate to distances from Property boundaries to foundation walls at time of survey;

8. Distances are in metres and decimals thereof.

9. This document is not valid unless it bears an original signature (in blue ink) and a red Global Raymac Surveyor Inc. permit stamp.

10. Enclosed in this Report has been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose of a real estate transaction. Copying is permitted without the written consent of the Surveyor, provided the same is done for the purpose of a real estate transaction, and the property owner has been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report. The plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user. The information on this Real Property Report reflects the status of the property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.

11. Property is subject to Utility Right-Of-Way Reg. No. 761 115 031

12. Fence on Subject Property encroaches into the Road Allowance and into the Lane as shown.

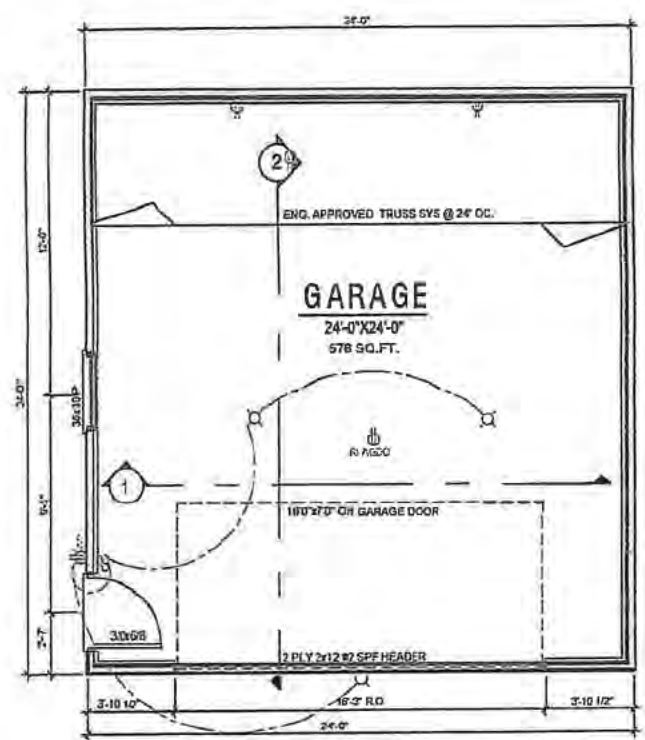
GLOBAL RAYMAC

SURVEY S
512, 40th Street S.E.
Calgary, Alberta T2G 2M5
Phone: (403) 293-6396
E-mail: rdunlop@globalraymac.com
DESCRIPTION OF PROPERTY
Lot(s) 21 to 24 Inclusive
Block 12
Plan 5087 W

Done: this 23rd day of April AD. 2012.	
MUNICIPAL ADDRESS: 339 - 3rd Street Edmonton, Alberta	Gordon M. Unruh, A.L.S.
CLIENT: Kensington Law Group	Drawn by: S. Harrison
CLIENT FILE NO. 5403 WAK	GRSI FILE NO. 12800220
SCALE: 1: 200	

LEGEND
Approximate and standards that may appear on this PLAN. X
Not shown, but shown this ...
Standard from survey plan and this ...
Note (usually) angle of arc shown this ...
Line set to zero shown this ...
Property boundary shown this ...
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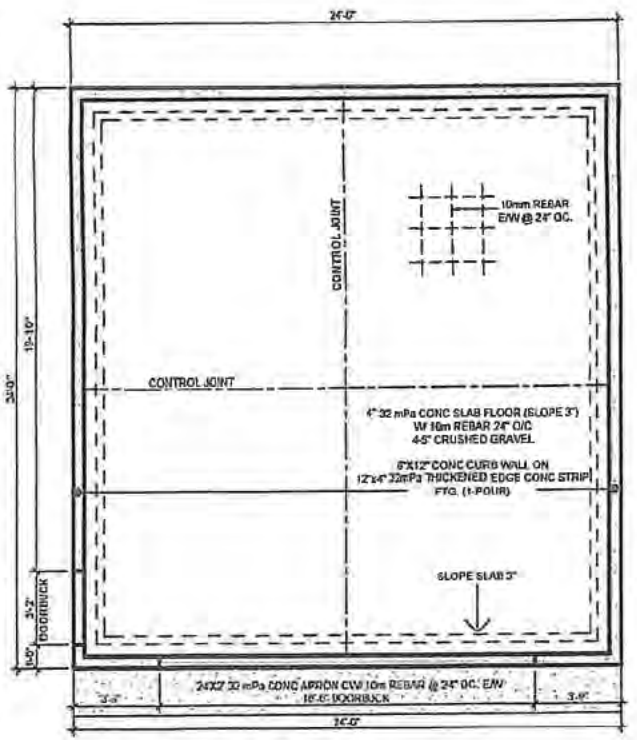
Approved for residential used previously (2022)



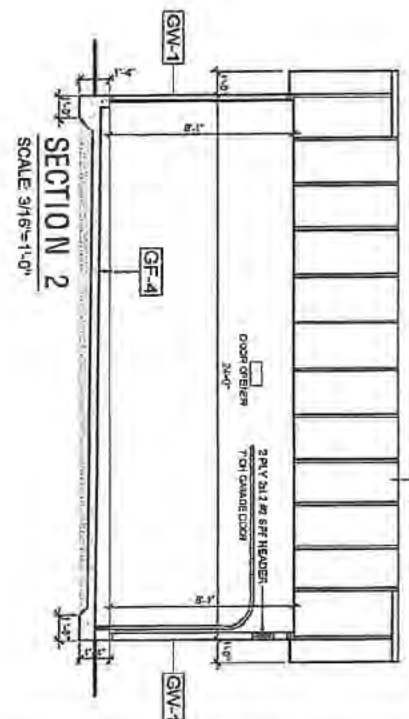
FLOOR PLAN
SCALE: 3/16"=1'-0"

ELECTRICAL LEGEND

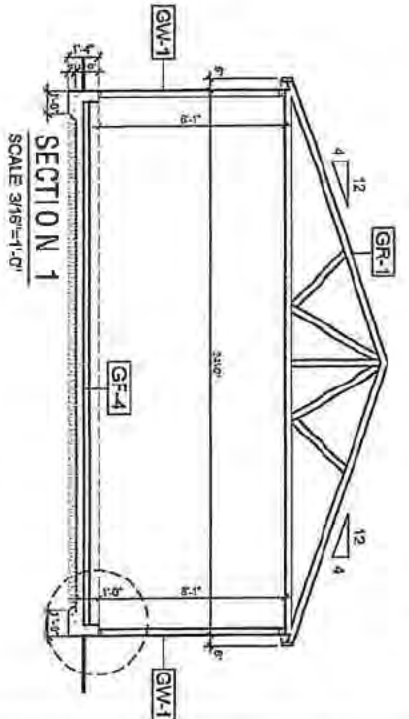
- Ⓢ ONE-WAY SWITCH
- Ⓞ 110V OUTLET
- Ⓞ OUTDOOR WEATHER-PROOF OUTLET
- Ⓢ GARAGE DOOR OPERATOR
- Ⓞ LIGHT



FOUNDATION PLAN
SCALE: 3/16"=1'-0"



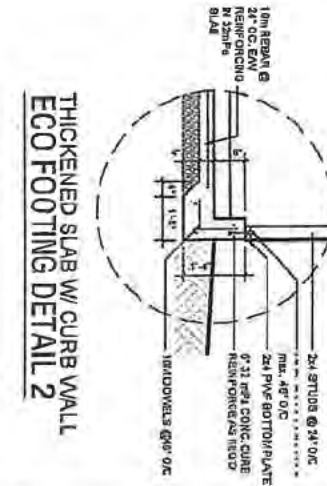
SECTION 2
SCALE: 3/16"=1'-0"



SECTION 1
SCALE: 3/16"=1'-0"

ECONOMY

GF-4	UNINSULATED WALLS & ROOF
GR-1	GARAGE SLAB
GW-1	EXTERIOR WALLS



BUILDING SET

1	FLOOR PLAN
2	BUILDING SECTION
3	FOUNDATION PLAN
4	SECTION 1
5	SECTION 2

24X24 ECO GAR
3.09 3RD STREET
IRRICANA, ALBERTA
L 21-24 B 12 P 508

CLIENT INFORMATION

ALLIANCE ENGINEERS
8934 - 36 STREET NW
CALGARY, ALBERTA T3J
403-276-2000

ALLIANCE-EXPERIMENTAL-5000

ALLIANCE ENGINEERS
8934 - 36 STREET NW
CALGARY, ALBERTA T3J
403-276-2000

PROJECT INFORMATION

24X24 ECO GAR
3.09 3RD STREET
IRRICANA, ALBERTA
L 21-24 B 12 P 508

CLIENT INFORMATION

ALLIANCE ENGINEERS
8934 - 36 STREET NW
CALGARY, ALBERTA T3J
403-276-2000

ALLIANCE-EXPERIMENTAL-5000

ALLIANCE
RENOVATIONS • EXCAVATION • CONCRETE

6924 - 38 STREET NE
CALGARY, ALBERTA T2A 4B9
403-228-2000

ALLIANCE-EXCAVATION-R-403/20/RE-CON

CLIENT: GARAGE

PROJECT NAME: 403/20/RE-CON

24x24 Eco GARAGE
399 3rd STREET
IRRUCANA, ALBERTA
L 21-24 B 12 P 5087 W

THE PLAN AND RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE REPRODUCTION OF THESE PLANS, EITHER WHOLE OR IN PART, INCLUDING ANY FORMS, WORKS, FOR ANY REASON, WITHOUT PRIOR WRITTEN PERMISSION IS STRICTLY PROHIBITED.

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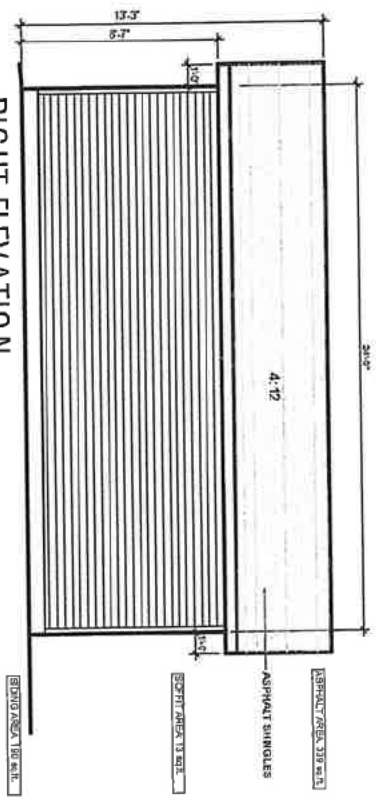
BUILDING PERMIT SET

ISSUED FOR:	DATE: (MM/DD)
REVIEW	2022/04/14
REVISION:	DATE: (MM/DD)
1.	
2.	
3.	

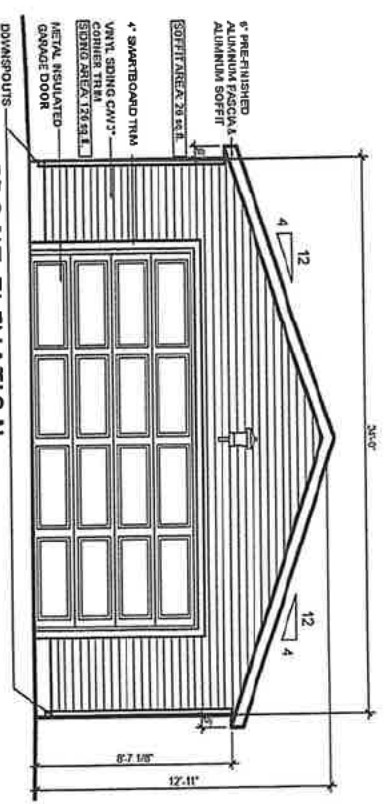
ELEVATIONS

PROJECT #	2022-338
DATE	2022/04/12
SCALE	AS SHOWN
DRAWN BY:	LL
DATE:	
WD1.1	

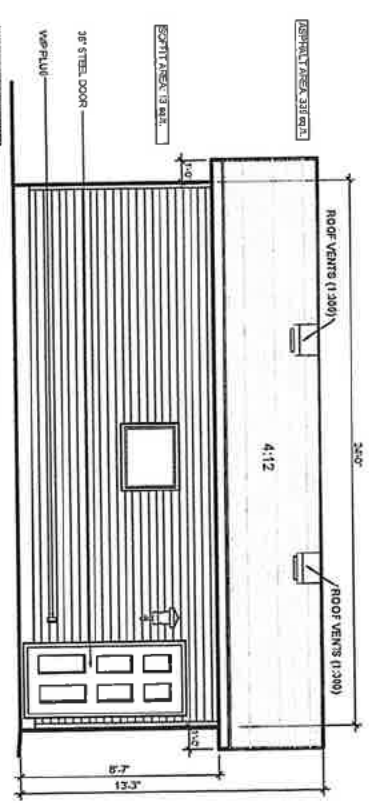
PLEASE RECHECK THE PLAN FOR CONFORMANCE WITH THE LATEST BUILDING CODES AND REGULATIONS. ALLIANCE-EXCAVATION-R-403/20/RE-CON



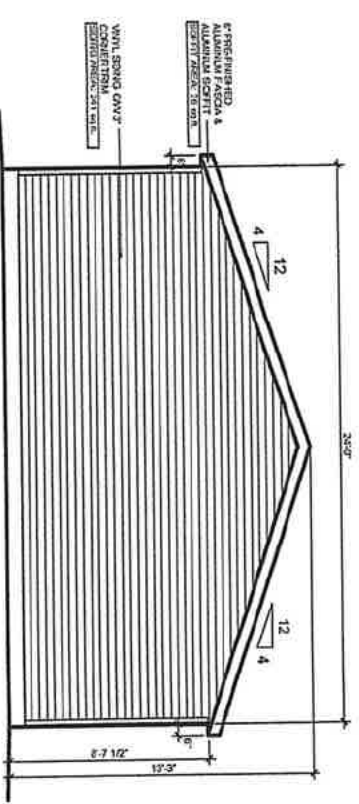
RIGHT ELEVATION
SCALE: 3/16"=1'-0"



FRONT ELEVATION
SCALE: 3/16"=1'-0"



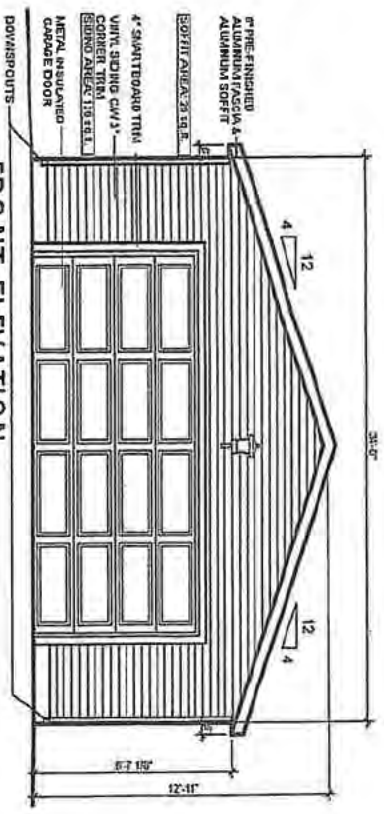
LEFT ELEVATION
SCALE: 3/16"=1'-0"



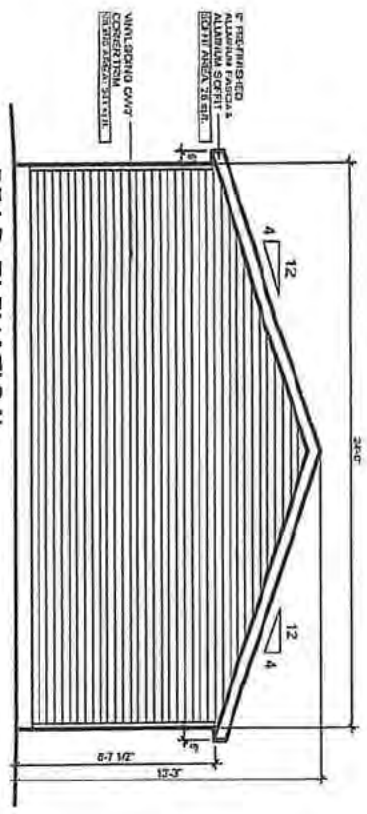
REAR ELEVATION
SCALE: 3/16"=1'-0"

MATERIALS

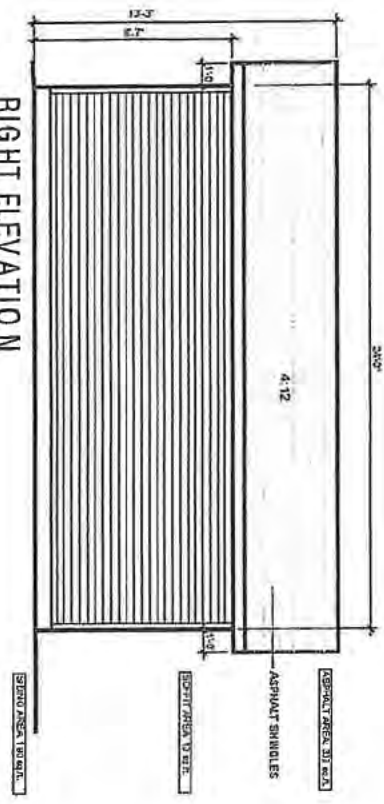
	QTY	UNIT	SQ.FT.
SIDING	718	FT	
GUTTER	52	FT	
ASPHALT ROOFING	678	SQ.FT	
ASPHALT SOFFIT	78	SQ.FT	
FASCIA	104	FT	



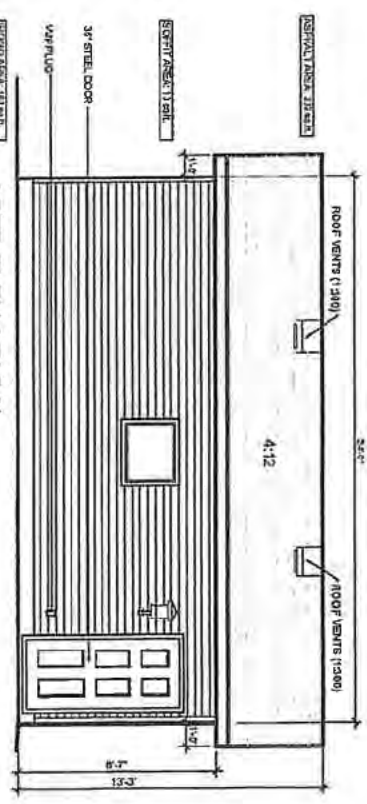
FRONT ELEVATION
SCALE: 3/16"=1'-0"



REAR ELEVATION
SCALE: 3/16"=1'-0"



RIGHT ELEVATION
SCALE: 3/16"=1'-0"



LEFT ELEVATION
SCALE: 3/16"=1'-0"

MATERIALS

	718	52	678	78	104
SIDING	718	52	678	78	104
GUTTER					
ASPHALT ROOFING					
SOFFIT					
FASCIA					

ELEVATIONS

PROJECT #	302-538
DATE	2022.09.12
SCALE	AS SHOWN
DRAWN BY	LL
REVISION	
1.	
2.	
3.	

BUILDING PERM SET

ISSUED FOR	DATE
REVISION	2022
REVISION	
REVISION	

ALL WORK IS SUBJECT TO COUNTY AUTHORITY AND ANY NECESSARY PERMITS MUST BE OBTAINED PRIOR TO COMMENCEMENT OF WORK. THE DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

24X24 Eco GARAGE
389 3rd STREET
IRPICANA, ALBERTA
L 21-24 B 12 P 5087 V

CONTRACTOR & SUBS

ALLIANCE
INNOVATION • RELOCATION • CONCRETE
8334 - 38 SHEELIE
CALGARY, ALBERTA T2A 4G9
403-228-2000

ALLIANCE EXCAVATION/CONCRETE

PLEASE RECYCLE THIS PLAN
UPON COMPLETION OF THE
PROJECT PERMITS.

WD1.1

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

3rd STREET

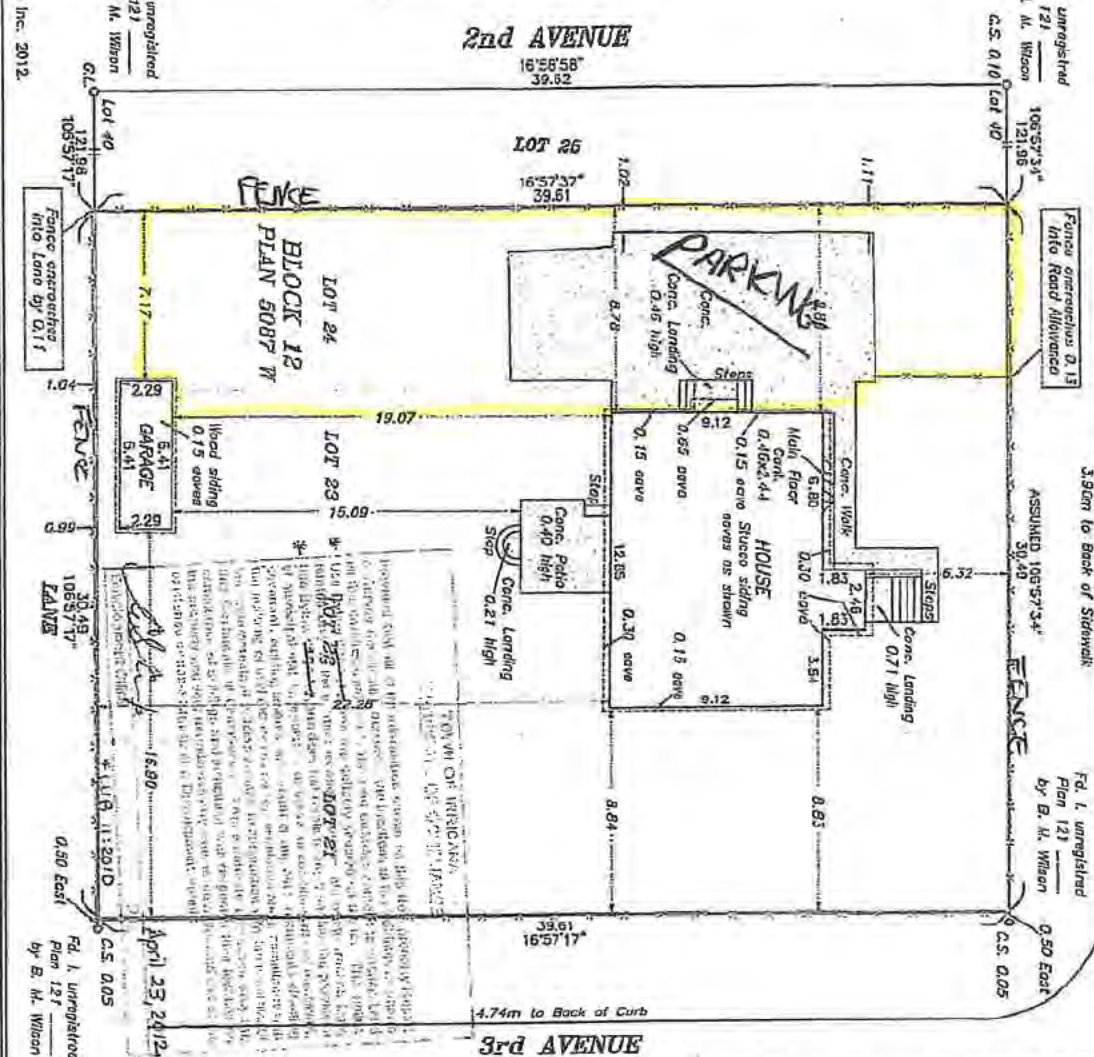
GLOBAL RAINMAC SURVEYS

912, 400D-4th Street S.E.
 Calgary, Alberta T2G 2H3
 Phone: (403) 230-6445
 Fax: (403) 230-6446
 Email: info@globalrainmac.com
 Web: www.globalrainmac.com

Lot(s) 21 to 24 inclusive
 Block 12
 Plan 5087 W



LEGEND
 REGISTRATION AND STAKES FOR
 BY APPOINT OF THIS PLAN
 Lot 21 to 24 shown thus
 5m for found staked lines
 10m for found staked lines
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-proposed use Location of existing business

1. Gordon H. Linnell, Alberta Land Surveyor to hereby certify that this Report and related survey was prepared and performed under my personal supervision and in accordance with the Manual of Standard Practices of the Alberta Land Surveyors' Association and Supplemental Thereto, according to the standards of practice and the date of this Report, I am of the opinion that:

- The Plan illustrating the boundaries of the Property, the improvements as defined in Part B, Section B.5 of the Alberta Land Surveyors' Association's Manual of Standard Practices, registered easements and rights-of-way affecting the extent of the title to the property;
- The improvements are entirely within the boundaries of the property, unless otherwise noted;
- No valuable encroachments exist on adjacent property unless otherwise noted, and;
- No valuable encroachments exist on registered easements or rights-of-way affecting the extent of the property, unless otherwise noted.

5. This information is based on a file search dated April 23, 2012 in the Alberta Land Surveyors' Association records.

6. Date of Survey April 23, 2012

7. Unless otherwise specified the dimensions shown relate to distances from Property boundaries to foundation walls at time of survey.

8. Distances are in meters and decimals thereon.

9. This document is a real utility and it bears an original signature. (In this link) and a red Global Rainmac Surveyors Inc. permit stamp.

10. Purpose: This Report has been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose of a real estate transaction. Copying is permitted only for the benefit of these parties, where applicable, registered easements and utility rights of way affecting the extent of the property have been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report. The plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user. The information on this Real Property Report reflects the status of the property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.

11. Requirements are subject to Utility Right-of-Way Reg. No. 261 115 931

12. Property is subject to Property Encumbrances like the Road Allowance and into the Lane as shown.

Dated this 23rd day of April, A.D. 2012.

MUNICIPAL ADDRESS:
 339 - 3rd Street
 Irricana, Alberta

CLIENT: Kamington Law Group
 CLIENT FILE NO. 6408 WMM
 SCALE 1: 200

Gordon H. Linnell, A.L.S.
 Drawn By: S. Harrington
 GRSI FILE NO. 1280X0223

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

5th STREET

190m to Back of Sidewalk

Fd. 1, unregistered
Plan 121
By B. M. Wilson
CS. 0.10 Lot 40

ASSUMED 108°57'54"
39.48

Fd. 1, unregistered
Plan 121
By B. M. Wilson

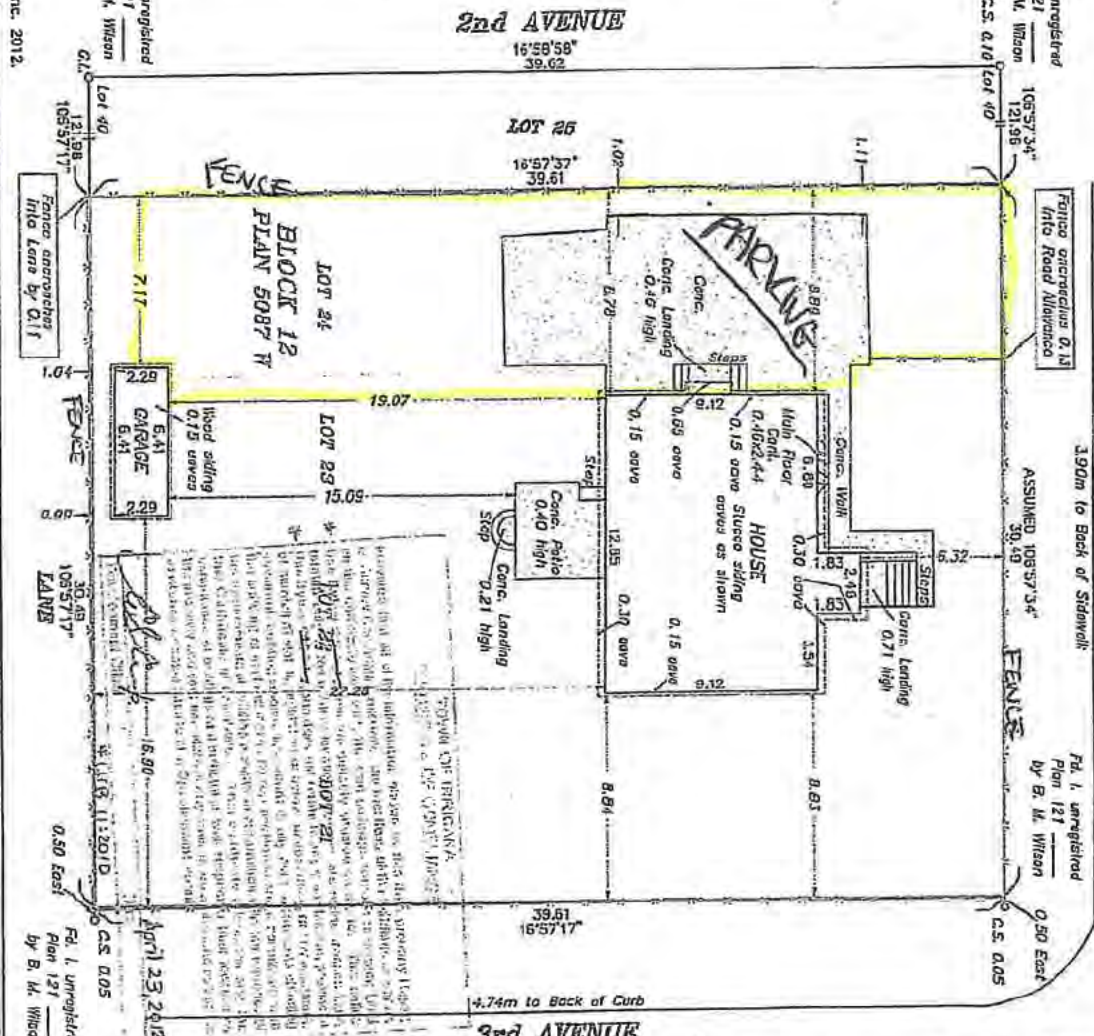
0.50 East
CS. 0.05



2nd AVENUE
16°58'58"
39.62

ASSUMED
ALBERTA LAND SURVEYORS' ASSOCIATION
P236
GLOBAL RAVNAC SURVEYORS INC.

INTERPRETATION AND NOTES:
1. The survey was conducted in accordance with the provisions of the Survey Act, R.S.A. 2000, c. S-26.
2. The survey was conducted in accordance with the provisions of the Survey Regulations, R.R.O. 2002, c. 127.
3. The survey was conducted in accordance with the provisions of the Survey Act, R.S.A. 2000, c. S-26, and the Survey Regulations, R.R.O. 2002, c. 127.
4. The survey was conducted in accordance with the provisions of the Survey Act, R.S.A. 2000, c. S-26, and the Survey Regulations, R.R.O. 2002, c. 127.
5. The survey was conducted in accordance with the provisions of the Survey Act, R.S.A. 2000, c. S-26, and the Survey Regulations, R.R.O. 2002, c. 127.
6. The survey was conducted in accordance with the provisions of the Survey Act, R.S.A. 2000, c. S-26, and the Survey Regulations, R.R.O. 2002, c. 127.
7. The survey was conducted in accordance with the provisions of the Survey Act, R.S.A. 2000, c. S-26, and the Survey Regulations, R.R.O. 2002, c. 127.
8. The survey was conducted in accordance with the provisions of the Survey Act, R.S.A. 2000, c. S-26, and the Survey Regulations, R.R.O. 2002, c. 127.
9. The survey was conducted in accordance with the provisions of the Survey Act, R.S.A. 2000, c. S-26, and the Survey Regulations, R.R.O. 2002, c. 127.
10. The survey was conducted in accordance with the provisions of the Survey Act, R.S.A. 2000, c. S-26, and the Survey Regulations, R.R.O. 2002, c. 127.
11. The survey was conducted in accordance with the provisions of the Survey Act, R.S.A. 2000, c. S-26, and the Survey Regulations, R.R.O. 2002, c. 127.
12. The survey was conducted in accordance with the provisions of the Survey Act, R.S.A. 2000, c. S-26, and the Survey Regulations, R.R.O. 2002, c. 127.



- proposed use location of contacting business

3rd AVENUE
16°57'17"
39.51

Fd. 1, unregistered
Plan 121
By B. M. Wilson

GLOBAL RAVNAC SURVEYORS
S U R V E Y S
312, 40th Street S.E.
Calgary, Alberta T2G 2W7
Phone: (403) 239-0466
Fax: (403) 239-6310
E-mail: admin@globalravnac.com

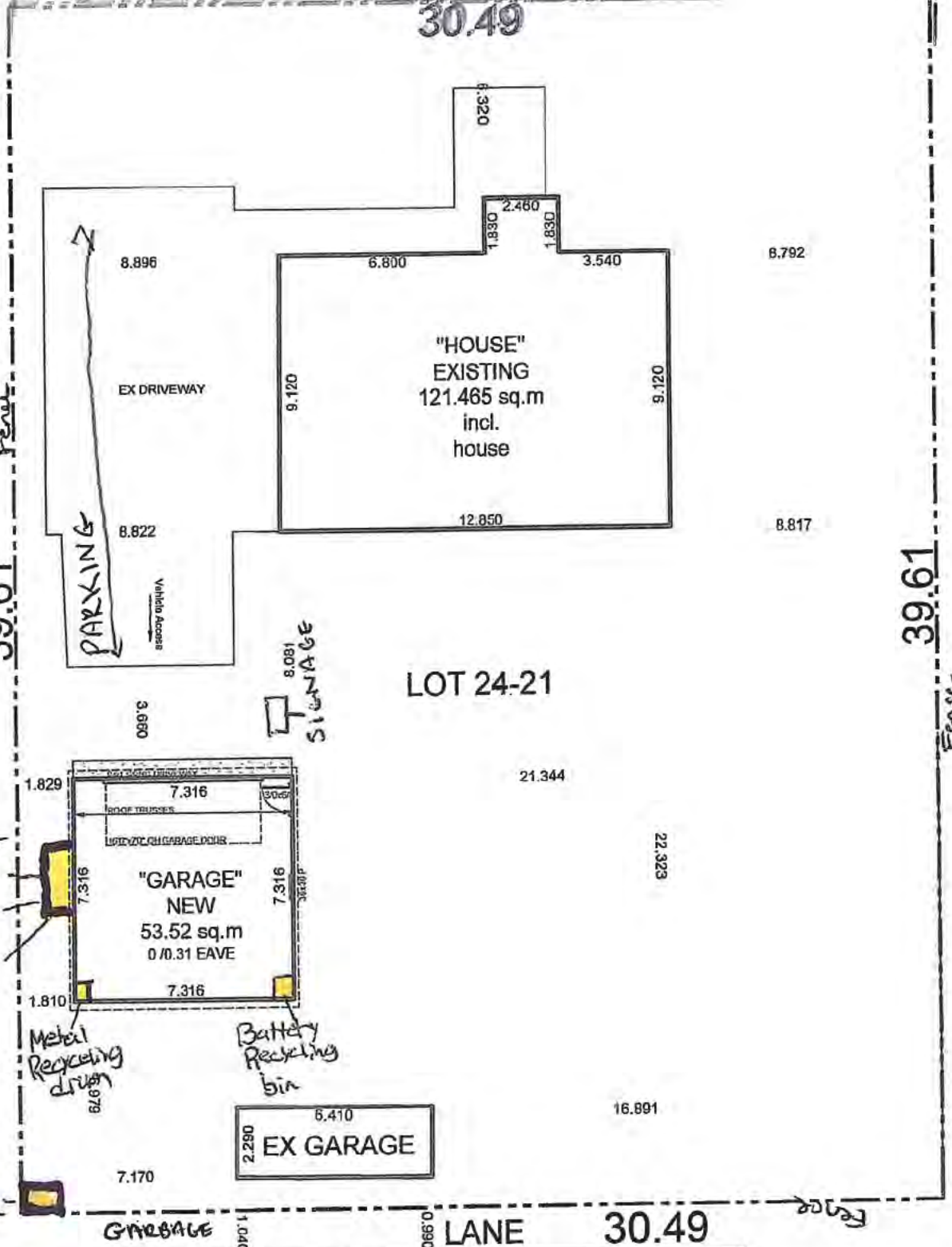
DESCRIPTION OF PROPERTY
Lot(s) 21 to 24 inclusive
Block 5087 W
Plan 5087 W

APPROVALS
Gordon H. Linnell, Alberta Land Surveyor do hereby certify that this Report and related survey was prepared and performed under my personal supervision and in accordance with the Manual of Standard Practice of the Alberta Land Surveyors' Association and applicable thereto, accordingly, within these elements as of the date of this Report, I am of the opinion that:
1. The plan illustrates the boundaries of the Property, the improvements as defined in Part D, Section 8.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements and right-of-way affecting the extent of the title to the property.
2. The improvements are entirely within the boundaries of the property unless otherwise noted.
3. The visible encroachments exist on the Property (as any improvement situated on an adjacent property unless otherwise noted), and:
4. No visible encroachments exist on registered easements or rights-of-way affecting the extent of the property, unless otherwise noted.
5. This information is based on a title search dated March 20th, A.D. 2012 C. of T. No. 031 061 818
6. Date of Survey April 23rd, 2012
7. Unless otherwise specified the dimensions shown relate to distances from Property boundaries to foundation walls of line of survey, in metres and decimetre thousandths.
8. Distances are in metres and decimetre thousandths.
9. This document is not valid unless it bears an original signature of the Surveyor and a red Global Ravnac Surveyors Inc. permit stamp.
10. Easements: This Report has been prepared for the benefit of the Property and the easements, owners and any of their agents, for the purpose of a real estate transaction. Copying is permitted only for the benefit of those parties. Where applicable, registered easements and utility rights of way affecting the extent of the property have been shown on this plan. Unless shown otherwise, property corner markers have not been placed during the survey due to the risk of misinterpretation or measurement error by the user. The information on this Real Property Report reflects the advice of the Property as of the date of survey only. Users are encouraged to have this Real Property Report updated for future requirements.
11. Property is subject to Utility Right-of-Way Reg. No. 751 115 93
12. Fence on Subject Property encroaches into the Road Allowance and into the Lane as shown.

Dated this 13th day of April A.D. 2012.
MURCHIE ADDRESS: 339 - 3rd Street
Edmonton, Alberta
CLIENT: Kensington Law Group
CLIENT FILE NO. 0400 WAM
Gordon H. Linnell A.L.S.
Drawn by: S. Harrison
GSS. FILE NO. 120030220
SCALE: 1:200

© Copyright Global Ravnac Surveyors Inc. 2012.

APPROVED for residential use previously (2022); markups show waste management; storage and parking



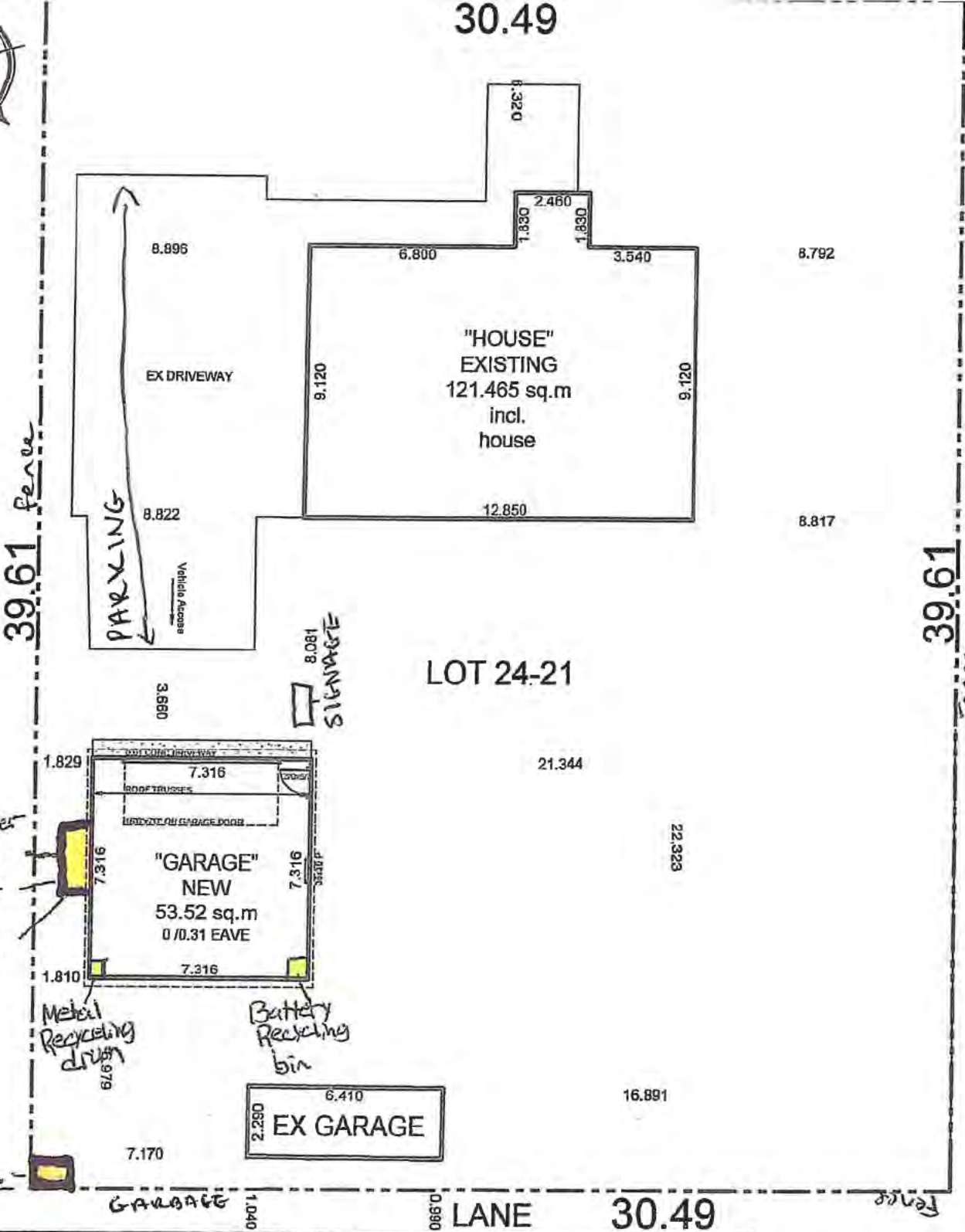
SITE PLAN	ALLIANCE RENOVATIONS • EXCAVATION • CONCRETE	LOT AREA	1207.62 sq.m
		45%	543.43 sq.m
LOT	21-24	ACTUAL	174.985 sq.m
BLOCK	12	ACTUAL %	14.49%
PHASE/PLAN#	5087 W	DATE	2022.09.12
AREA	-	SCALE	1:200
CITY	IRRICANA	DRAWN BY	LL
PROJECT	24X24 GARAGE	JOB #	2022-336

CLIENT SIGNATURE

CLIENT SIGNATURE

6834 - 36 STREET NE | CALGARY, AB | T3J 4C9 | 403-228-2000 | ALLIANCE-EXCAVATION-CONCRETE.COM

APPROVED FOR RESIDENTIAL USED PREVIOUSLY (2022) MARKUPS SHOW WASTE
 5934 - 36 STREET NE | CALGARY, AB | T3J 4G9 | 403-228-2000 | ALLIANCE-EXCAVATION-CONCRETE.COM
 signage and parking management,



SITE PLAN	ALLIANCE RENOVATIONS • EXCAVATION • CONCRETE	LOT AREA	1207.62 sq.m
		45%	543.43 sq.m
LOT	21-24	ACTUAL	174.985 sq.m
BLOCK	12	ACTUAL %	14.49%
PHASE/PLAN#	5087 W	DATE	2022.09.12
AREA	-	SCALE	1:200
CITY	IRRICANA	DRAWN BY	LL
PROJECT	24X24 GARAGE	JOB #	2022-336

CLIENT SIGNATURE

CLIENT SIGNATURE

3rd AVENUE

* Drainage, no flush toilet or sink on lot. Biodegradable handcleaner and pop up first aid station
 Canteen Toilet inside house

ALLIANCE
 RENOVATIONS • EXCAVATION • CONCRETE
 8634 - 36 STREET NE
 CALGARY, ALBERTA T2H 4H3
 403-228-2000
 ALLIANCE-EXCAVATION-CONCRETE.CA

SOUTH ELEVATION
 FRANCES LAMBLE ARCHITECTS
24x24 Eco GARAGE
 339 3rd STREET
 IRRICANA, ALBERTA
 L 21-24 B 12 P 5087 W

THIS PLAN AND RELATED MATERIALS ARE THE PROPERTY OF FRANCES LAMBLE ARCHITECTS. NO REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM OF PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF FRANCES LAMBLE ARCHITECTS. THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS BY ANY PARTY TRANSFERS ANY LIABILITY FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT TO THE CLIENT. THE CLIENT IS LIMITED TO THE USE OF THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY DIMENSIONS SHOWN ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY DIMENSIONS REPORTED TO ALLIANCE RENOVATIONS PRIOR TO THE COMMENCEMENT OF WORK. ALLIANCE RENOVATIONS SHALL NOT BE RESPONSIBLE FOR ANY CHANGES OR OMISSIONS OF MATERIALS NOT REPORTED TO ALLIANCE RENOVATIONS PRIOR TO CONSTRUCTION. THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE. ALL WORK IS PERFORMED TO COMPLY TO THE NATIONAL BUILDING CODE AND ALL OTHER APPLICABLE REGULATIONS AND ORDINANCES.

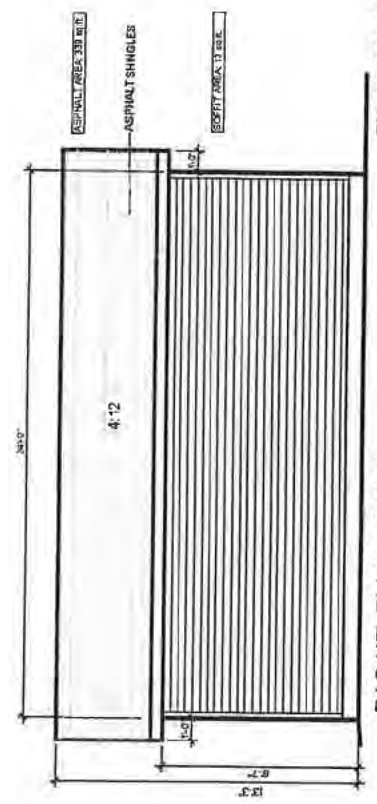
BUILDING PERMIT SET

DESIGNED FOR:	DATE (MM/DD):
REVIEW:	2023.12.12
REVISION:	DATE (MM/DD):
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2.	
3.	

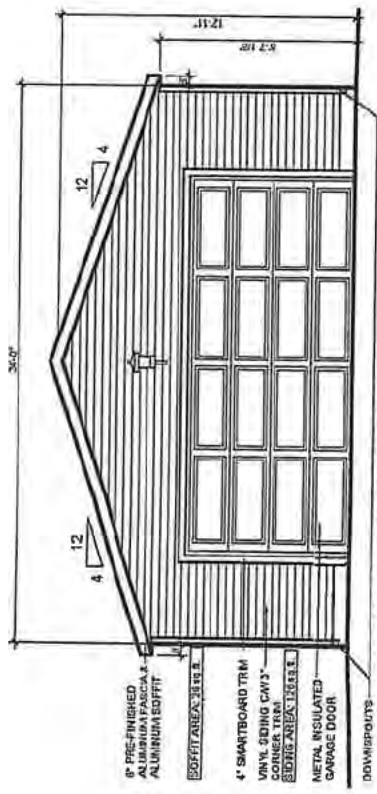
ELEVATIONS

PROJECT #	2023-338
DATE	2023.09.12
SCALE	AS SHOWN
DRAWN BY	LL
DATE	

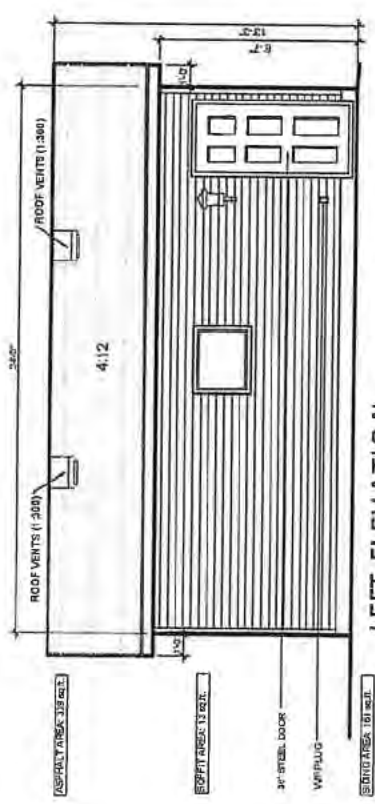
WD1.1
 PLEASE RECYCLE THIS PLAN UPON COMPLETION OF THE PROJECT



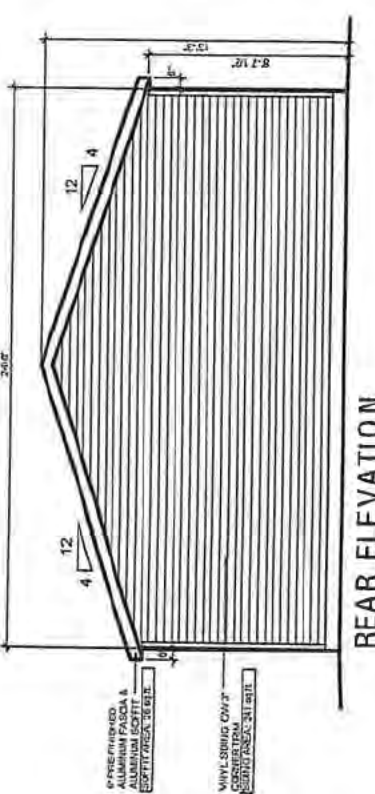
RIGHT ELEVATION
 SCALE: 3/16"=1'-0"



FRONT ELEVATION
 SCALE: 3/16"=1'-0"



LEFT ELEVATION
 SCALE: 3/16"=1'-0"



REAR ELEVATION
 SCALE: 3/16"=1'-0"

MATERIALS

	SQ.FT.	SQ.FT.
SIDING	718	FT
GUTTER	52	SQ FT
ASPHALT ROOFING	678	SQ FT
SOFFIT	78	SQ FT
FASCIA	104	FT

* Drainage, no flush toilet or sink on site for lot - Biodegradable "Wox" handblear and pop up first aid site
 Courtesy Toilet inside house

ALLIANT
 ARCHITECTURAL & ENGINEERING LTD.
 6934 - 36 STREET NW
 CALGARY, ALBERTA T2J 1J1
 403-228-2000
 ALLIANCE-EXAMINATION-COMF

CUSTOMER NAME
 PROJECT LOCATION
24x24 Eco GARY
 389 3RD STREET
 IRRIGANA, ALBERTA
 L 21-24 B 12 P 5087

THE PLANS AND RELATED MATERIALS ARE THE PROPERTY OF ALLIANT ARCHITECTURAL & ENGINEERING LTD. AND ARE TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE, REPRODUCTION OR ALTERATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF ALLIANT ARCHITECTURAL & ENGINEERING LTD. IS STRICTLY PROHIBITED.

THE SUBSTANCE OF ANY OF THESE DRAWINGS IS NOT TO BE SCALED. ERRORS, OMISSIONS OR DISCREPANCIES SHALL BE THE RESPONSIBILITY OF THE CLIENT. TO AVOID CONSTRUCTION ERRORS, ALL DIMENSIONS AND MATERIALS SHALL BE SPECIFIED IN THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES BEFORE COMMENCING CONSTRUCTION.

BUILDING PERMITS SET

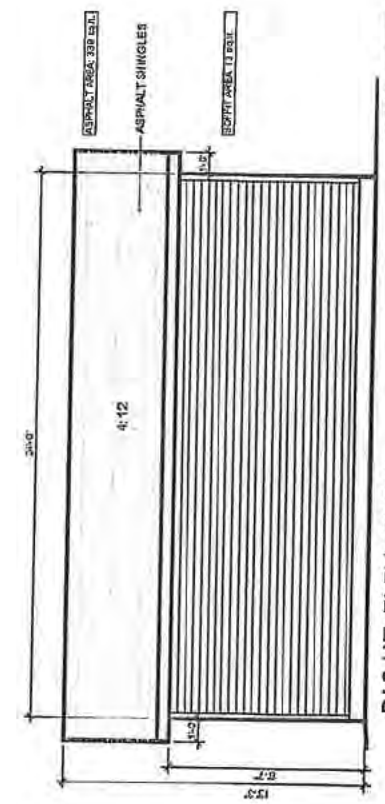
ISSUED FOR:	DATE
REVISION:	DATE
1.	
2.	
3.	

ELEVATIONS

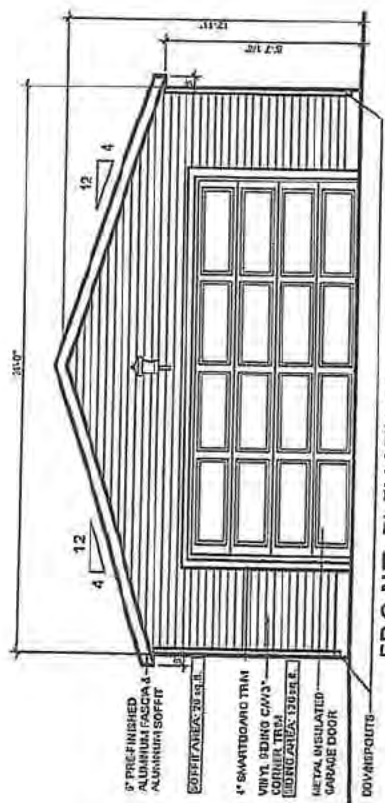
PROJECT #:	2022-335
DATE:	2022-08-12
SCALE:	AS SHOWN
DRAWN BY:	LL
CHECKED BY:	

WD1.1

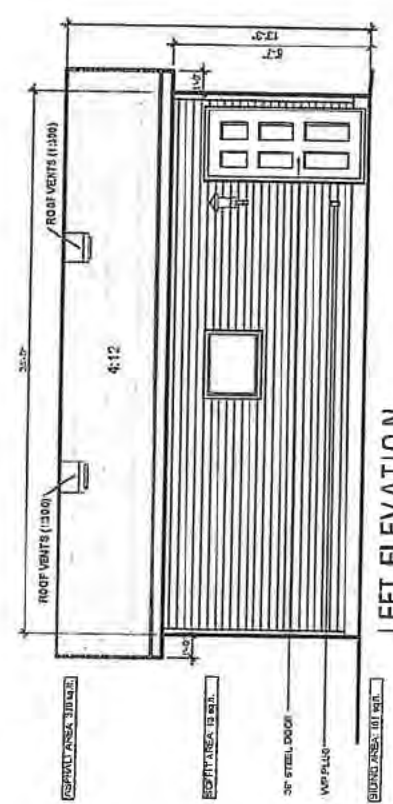
PLEASE REVIEW THIS PLAN UPON COMPLETION OF THE PROPOSED PROJECT.



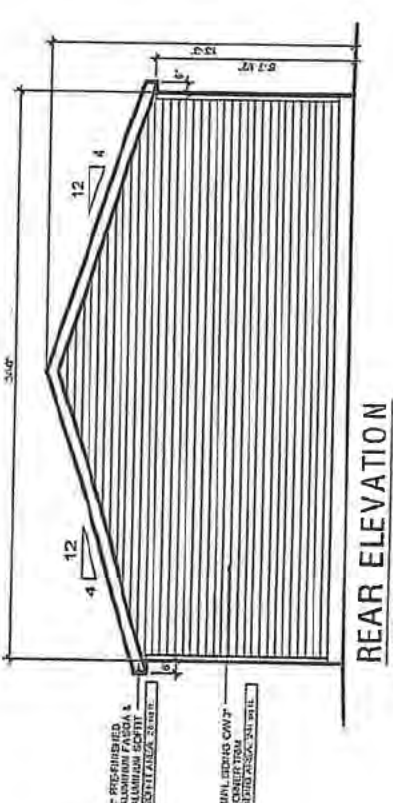
RIGHT ELEVATION
 SCALE: 3/16"=1'-0"



FRONT ELEVATION
 SCALE: 3/16"=1'-0"



LEFT ELEVATION
 SCALE: 3/16"=1'-0"



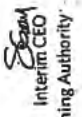
REAR ELEVATION
 SCALE: 3/16"=1'-0"

MATERIALS

	SQ. FT.	SQ. FT.
SIDING	718	
GUTTER	52	
ASPHALT ROOFING	678	
SOFFIT	78	
FASCIA	104	

This is to certify that
NICHOLAS STEPHEN NEWSTEAD
holds a
CERTIFICATE OF QUALIFICATION
in the trade of

AUTOMOTIVE SERVICE TECHNICIAN



Issue Date: 28/1/2019 | Certificate # [REDACTED]

This is to certify that
NICHOLAS STEPHEN NEWSTEAD
holds a
CERTIFICATE OF APPRENTICESHIP
in the trade of

AUTOMOTIVE SERVICE TECHNICIAN



Issue Date: 28/1/2019 | Certificate # [REDACTED]

NEWSTEAD MECHANICAL CONSULTING

Affordable, efficient, experienced

Why Us over our friendly competitors?

US

- family owned & operated
- greener initiatives
- \$120/hr mobile rates
- shop rate (permit pending) will be \$90/hr
- 10% military discount available for auto parts

OTHERS

- not family owned
- does not practice green initiatives as not all fluids recycled
- does not offer mobile services
- shop rate of \$120/hr

Family Owned & Operated

-company led by Nicholas (Nick) Newstead, a Red Seal certified journeyman mechanic with 14 years of automotive experience -accounting supported by wife Ashley Newstead, who has 7 years of experience in government administration, social assistance and adjudication.



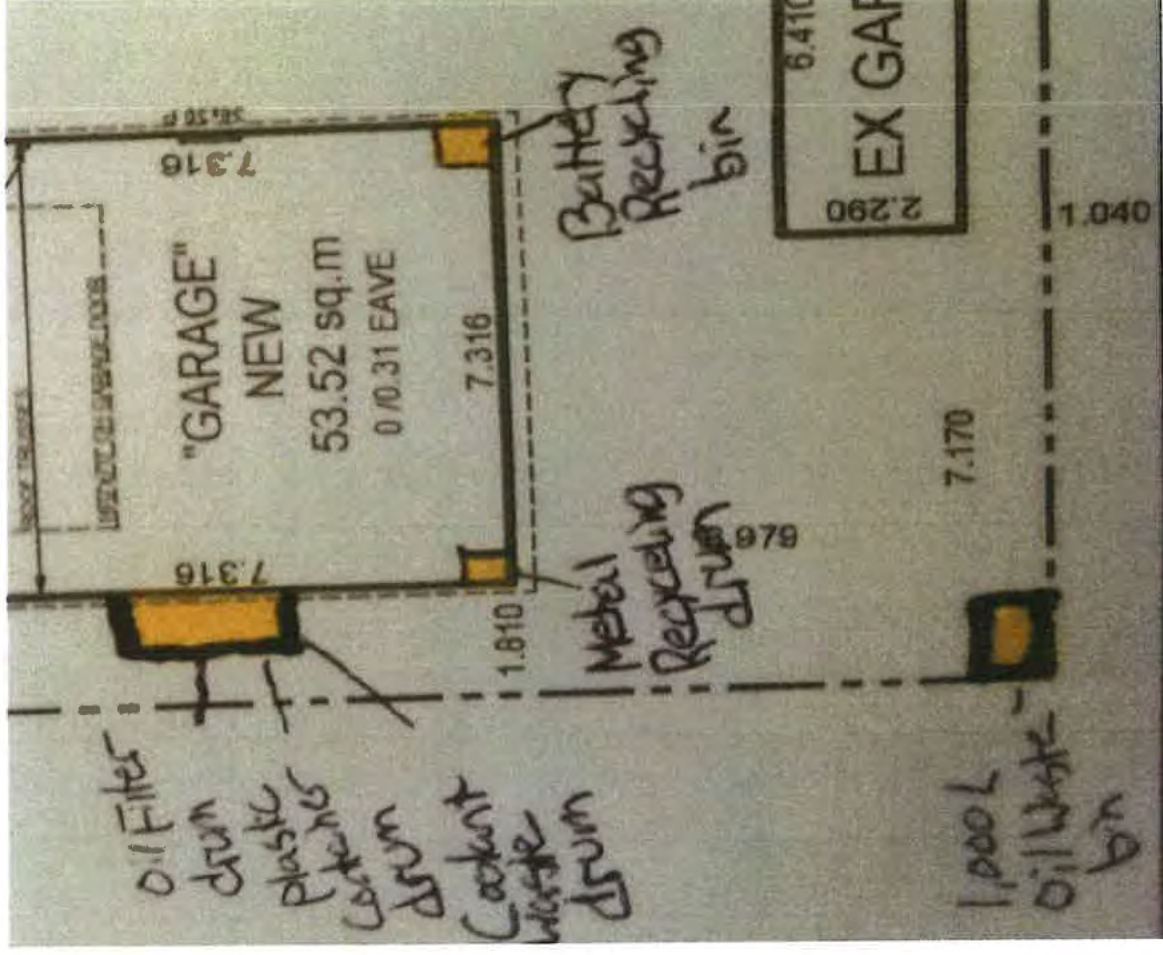
Greener Initiatives

-all fluids (oil, coolant, brake fluid, power steering fluid) and plastic recycled through local company E360 Environmental Solutions in Calgary. They pickup oil for free once it reaches 1000 litres and plastics in courtesy bags also free. We already have acquired a industrial grade container capable of holding oil for their pickup. Coolant is an expense we pay for them to recycle for \$100 per barrel. They provide lidded barrels. They also provide two fire safety rated steel drums for oil filters to be recycled. If there is an emergency oil spill, this company is designated to handle it at our cost.

-batteries recycled free by LordCo, AutoValue & Napa

-all metal recycled through local company Calgary Metal Recycling Inc. Once a month Nick will collect all the metal and drive it in our truck to them.

WASTE MANAGEMENT



Consult Services

Limited to your home, acreage
or ranch

We come to you!

- pre purchase inspections
- Amvic inspections
- mobile diagnostics
- battery boosting
- service advising
- part quotes and delivery
- servicing Rockyview County
currently, permits pending Irricana,
Strathmore, & Airdrie

Shop Services

(pending redevelopment approval

by

Irricana due to Land Use Bylaw)

@339 3 St, Irricana, AB

-repairs to passenger vehicles and light trucks (under 9,000 lbs of weight)

-brake service or replacement, engine & transmission diagnostic and repair, suspension diagnostic & repair, tire rotation & install, general automotive maintenance, advanced electrical diagnostic & repair, custom wiring, aftermarket stereo and backup camera upgrades, lift kit & accessory install, performance upgrades, exhaust repairs, Amvic inspections, light bulb replacement & upgrades, battery boosting & replacement, pre-purchase inspections, service advising, oil and fluid servicing, part quotes & delivery

-all services not currently offered until approved for land use redevelopment. Application submitted as same time of business application

BUSINESS IMPACT ASSESSMENT

Benefits

- more affordable for community, as census shows most Irricanaians have a gross household income of \$90,000 (2021)
- has potential and intent to hire locally, and reduce Irricana's high unemployment rate of 15%
- gives way to younger generations and start ups to continue the town as most Irricanaians are aging (nearly 70% of residents are above age 35).
- mobile service especially benefits elderly and handicapped who are not able to easily get to a stationary mechanic, and can have vehicle inspected and parts quotes at home without a tow, saving money

Considerations

- If land development approved, parking is limited to the driveway on the lot, which is oversized and capable of holding 4 vehicles, however, we only want to service a maximum of 3 vehicles a day. Public parking on street will not be impacted.
- Business hours limited to 9am to 5pm, and comply with noise bylaws so neighbours will see no disturbance.
- Direct competitors Phil's Autohss posted his business for sale, is retiring. Business is posted high above means of financial capabilities for younger generations to be able to afford and takeover. With no clear buyer, likely to lead to non local buyer or business closing down in future leaving Irricana without automotive services.
- As business grows, and capital revenue increases, a second location may be required, and would continue to support local employment, as well as apprenticeships for youth.
- There would be an increase in road traffic of 3 cars per day on main roads entering the town and onto 3 Street. This is unlikely to produce more wear or road maintenance for the town.

BUSINESS RECOVERY

-In the event the business is unsuccessful and requires closure, wastes will be disposed of properly, bins returned Ito E360 and signage removed. The business owner will return to working for another automotive business, likely outside of Irricana as an employee.

